

**ROOF:**  
**Main roof:**  
 150 x 47mm C16 rafters at 400mm centres. (max. span 3380mm)  
 Provide lateral restraint straps at 2 metre centres.  
 195 x 47mm C16 ceiling joists at 400mm centres.  
 Provide lateral restraint straps at 2 metre centres.  
 225 x 75mm ceiling binders and 75 x 75mm hangers at 1200mm centres.  
 200 x 50mm C16 ridge board.  
 Provide 100 x 50mm wall plates with holding down straps.  
 (30 x 5mm mild steel straps at 900mm centres).  
 Provide 120mm Celotex insulation between ceiling joists.  
 Maintain U value 0.16 W/m<sup>2</sup> K.  
 Provide min. 25mm screened eaves ventilation and high level tile vents to ensure full roof ventilation.  
 Tiles to match existing house, on 38 x 25mm battens, on Tyvec breathable roofing membrane.  
 Fascias and soffits to match existing.

**Garage / kitchen roof:**  
 125 x 47mm C16 rafters at 400mm centres. (max. span 2940mm)  
 Provide lateral restraint straps at 2 metre centres.  
 145 x 47mm C16 ceiling joists at 400mm centres. (max. span 3080mm)  
 Provide lateral restraint straps at 2 metre centres.  
 200 x 50mm hips.  
 100 x 47mm angle tie and dragon ties to hips.  
 Provide 100 x 50mm wall plates, with holding down straps. (30 x 5mm mild steel straps at 900mm centres). Insulate roof with two layers of 150mm Rockwool insulation to the roof void; both layers laid at 90 degrees to each other.  
 Maintain U value 0.16 W/m<sup>2</sup> K.  
 Eaves ventilation minimum 25mm.  
 Roof tiles to match existing, on 38 x 25mm battens, on Tyvec breathable roofing membrane to B.S 747. Fascias and soffits to match existing.

**OPENINGS:**  
 Lintels over door and window openings to be Catnic, I.G or similar approved; fitted in accordance with manufacturers specifications.

**WALLS:**  
 Provide Celcon Foundation 7 Blocks below ground level; with a compressive strength of 7.3 N mm<sup>2</sup>.  
 Provide coursed stone work to outer skin to Local Planning Authority approval, 100mm cavity and Celcon Aircrete Standard 100mm block work inner leaf.  
 Cavity to have 50mm thick Kingspan Thermawall TW50 Zero ODP insulation board fixed to inner leaf to give a U value of 0.3 W/m<sup>2</sup> K. Vertical twist type wall ties to be used at 750mm horizontal x 450mm vertical spacings; reduced to 225mm to reveals. Provide DPC's to walls 150mm above external ground level. Cavities to be continuous and closed at eaves and reveals with insulated cavity closers.  
 Provide cavity trays with weep holes.  
 All work to comply with Part A of building regulations.

**FLOOR:**  
 Ground floor:  
 To consist of 150mm clean hardcore, with sand binding, 2000 gauge Visqueen membrane linked to D.P.C. (DPM to be of sufficient quality to provide basic radon protection in accordance with Part C of the building regulations)  
 80mm thick Thermalfloor TF70 zero ODP by Kingspan to give a U value not greater than 0.22 W/m<sup>2</sup> K.  
 Board to be also placed around slab edge to prevent thermal bridging.  
 Concrete floor slab 150mm thick. Finishes to clients own choice.

**First floor:**  
 220 x 75mm C16 floor joists at 400mm centres. (max. span 4770mm)  
 Provide strutting at one third spans and lateral restraint straps.  
 Double up joists under partitions and bath.  
 Joists to be fixed to walls via catnic hangers.  
 Insulate floor with 120mm Celotex insulation (or similar) fixed between joists to achieve a U value of 0.22 W/m<sup>2</sup> K.  
 Provide tongue & groove chipboard cover or alternative to clients requirements.

**Garage floor:**  
 To consist of 150mm clean hardcore, with sand binding, 2000 gauge visqueen membrane linked to D.P.C. (DPM to be of sufficient quality to provide basic radon protection in accordance with Part C of the building regulations)  
 Reinforced concrete floor slab 150mm thick.  
 Finishes to clients own choice.

**FOUNDATIONS:**  
 Trial holes to be carried out prior to work starting on site to determine ground conditions.  
 Excavations minimum depth taken down to a suitable bearing strata and invert of any adjacent drains to satisfaction of local authority building inspector.  
 Concrete strip foundation minimum 600mm wide and 300mm thick.  
**Foundations to be taken below any drains and 150 x 100mm concrete lintels to be provided where building over.**

**STEELWORK:**  
 Steelwork and padstones to engineers design. (conditional approval requested for building regulations compliance).  
 Clad steelwork in 15mm fire line plasterboard; with skim finish to give 30 minutes fire resistance.

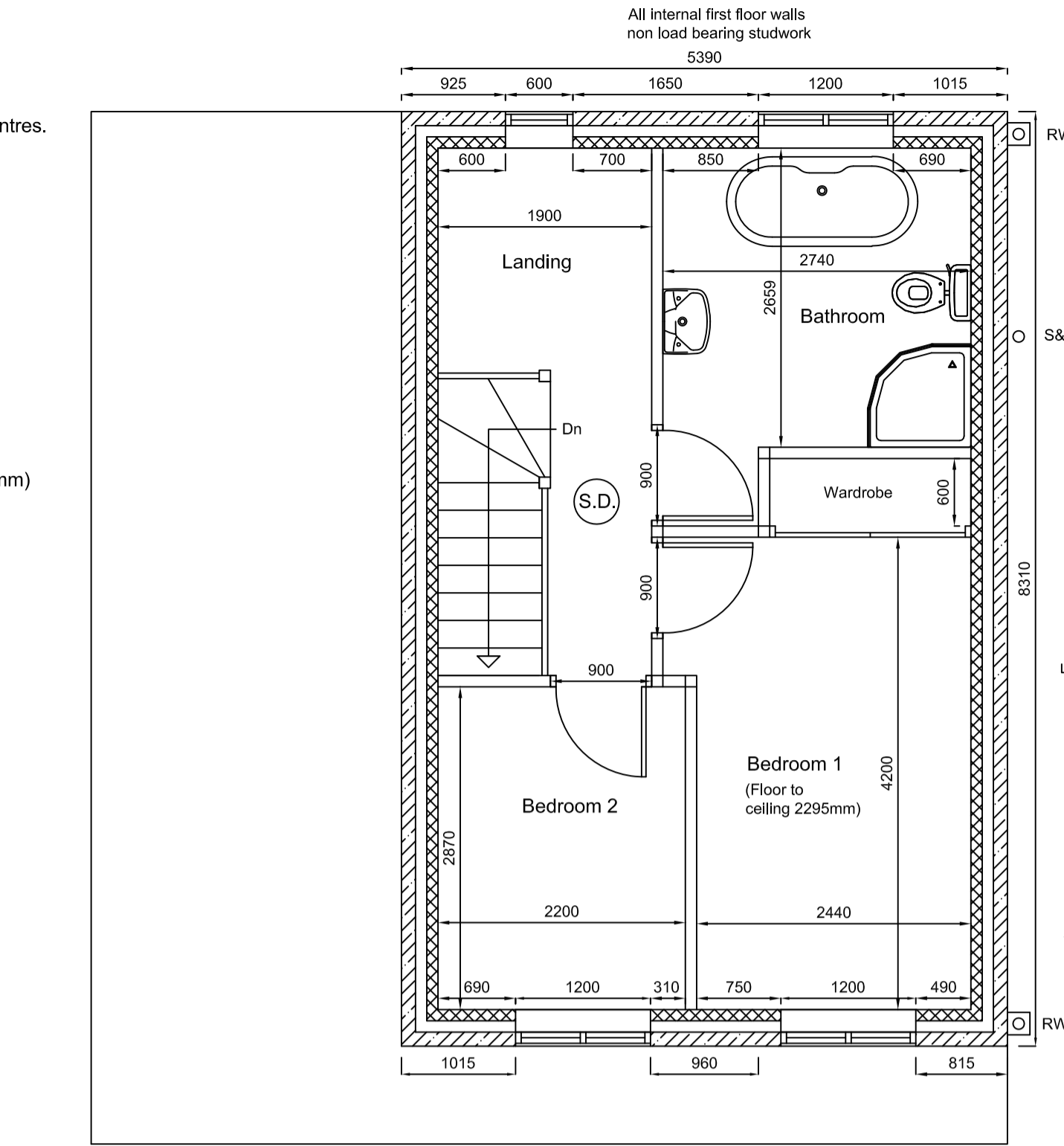
**FINISHES:**  
 12.5mm plasterboard and skim finish to walls.  
 12.5mm plasterboard and skim finish to ceilings.  
 All board joints to be staggered and scrimmed.  
 Skirtings and architraves to clients own choice.  
 Floor finish to clients own choice.

All non load bearing internal partitions to be 75 x 50mm studwork at 600mm max. centres with 12.5mm plasterboard and skim finish.  
 Partitions to have 25mm mineral wool sound insulation quilt between uprights, minimum density 10 kg/m<sup>3</sup>.

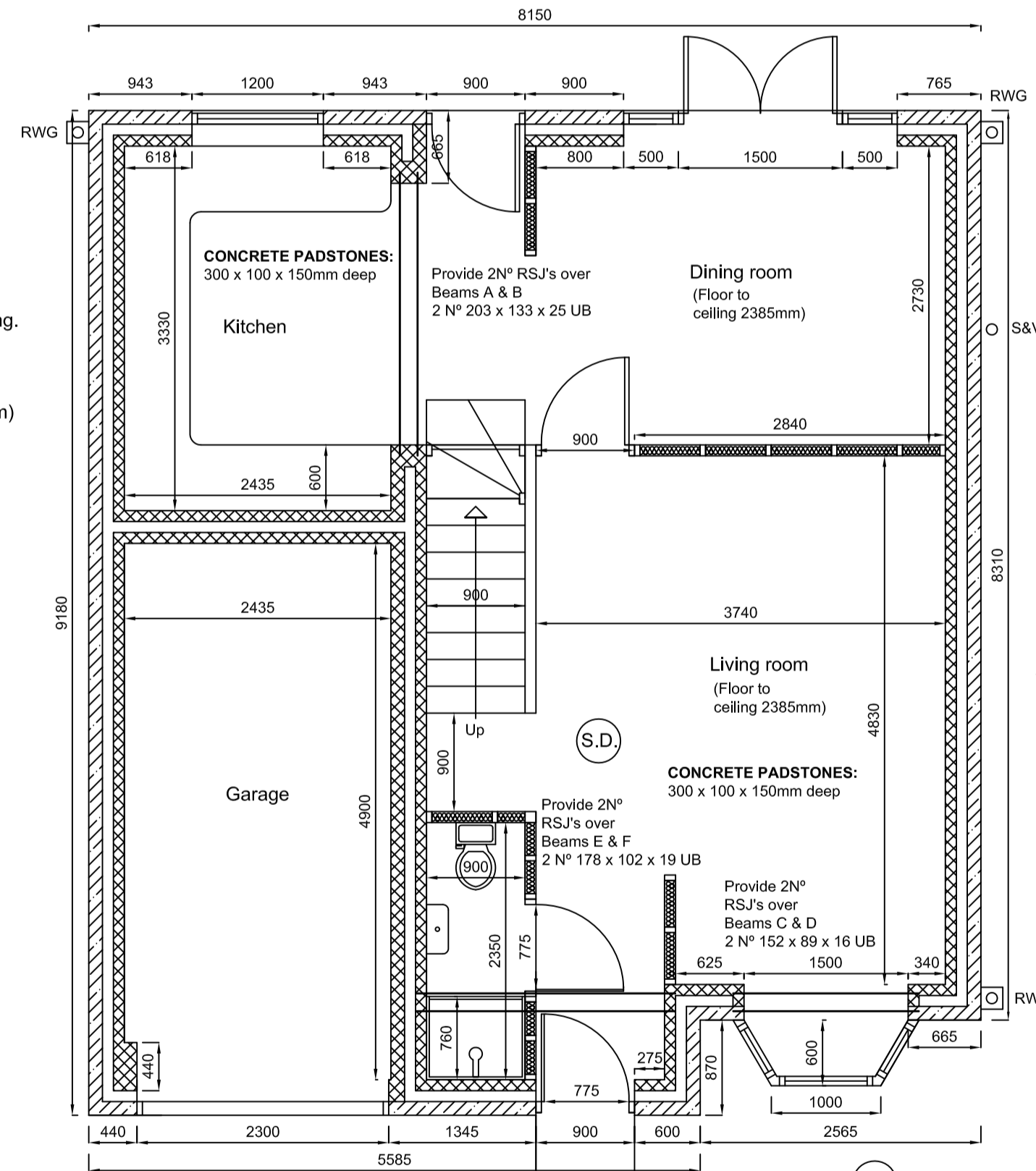
Include generally for making good all surfaces inside and out including decorative finishes.

All decorative finishes to be agreed with owner for pricing purposes.

**DOORS:**  
 Provide internal and external doors to clients own choice of style and design.  
 All glazing to doors and sidelights below 1500mm from internal floor level to be toughened safety glass.



FIRST FLOOR PLAN (S.D.) Smoke detector



GROUND FLOOR PLAN (S.D.) Smoke detector

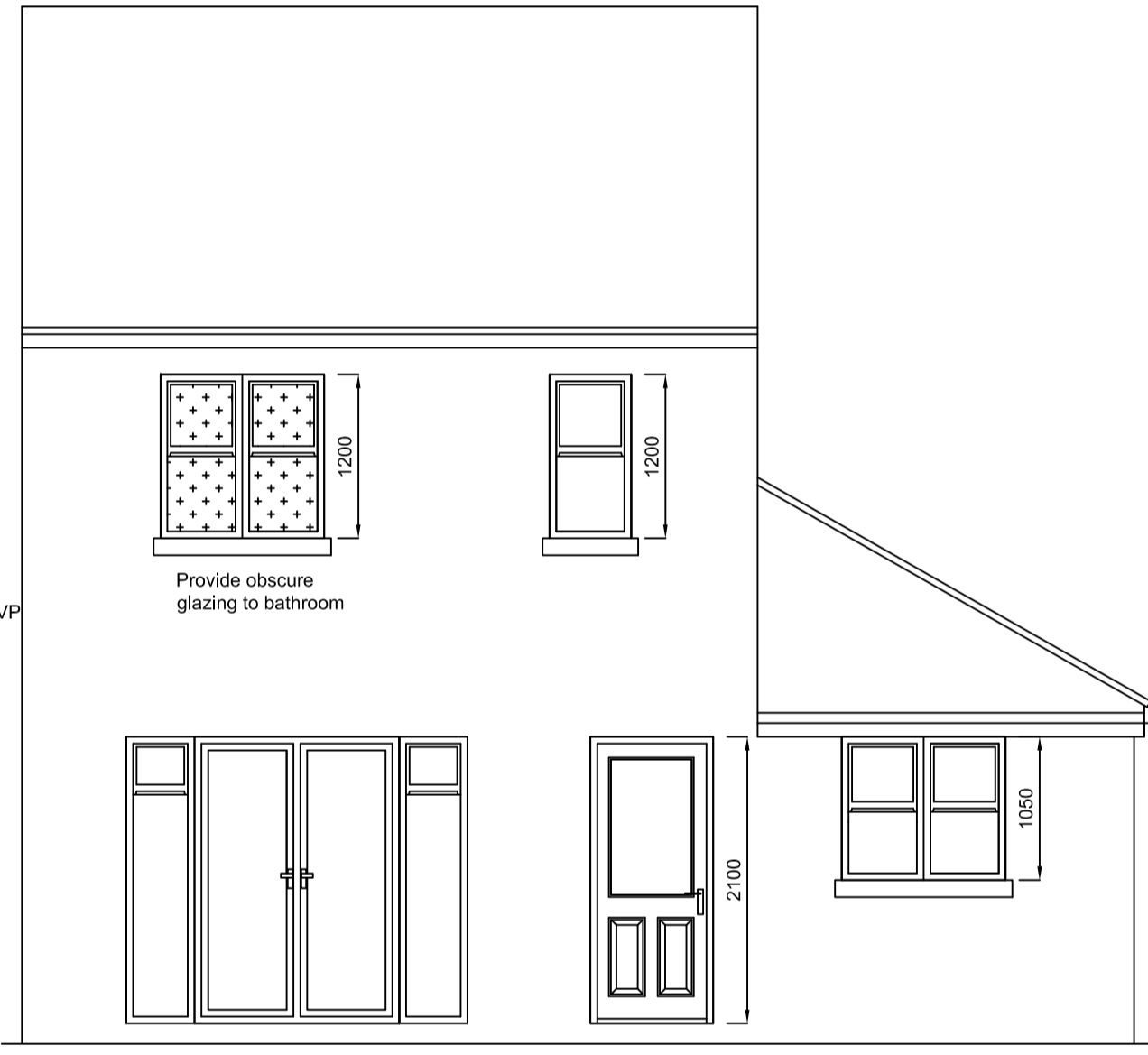
**STAIRS:**  
 900mm approx clear width, 12 N° 220mm maximum rises and 245mm goings. (check on site).  
 Maximum pitch 42 degrees. Handrail 900mm above pitch line and landing. Tapered treads to be 50mm minimum width, 100mm newal post. 2000mm headroom to be maintained to staircase. Staircase to be bolted to load bearing walls using M12 bolts at 300mm centres. Maintain clear landings to top and bottom of stairs. Staircase to be fully protected to underside with 12.5mm plasterboard and skim to give 30 minutes fire resistance.  
 Double up floor joists as stair trimmers.

**PLUMBING:**  
 All new fittings to bathroom / shower room to be owners choice.  
 Provide 100mm dia. waste to WC pans. Basins to have 32mm dia. waste and 75mm deep seal anti-vac traps.  
 Shower / bath to have 38mm dia. waste outlet.  
 Connect to new PVC S&VP.  
 All traps and seals to appropriate British Standards.  
 PVC S&VP to extend minimum 900mm above any window opening within 3000mm.

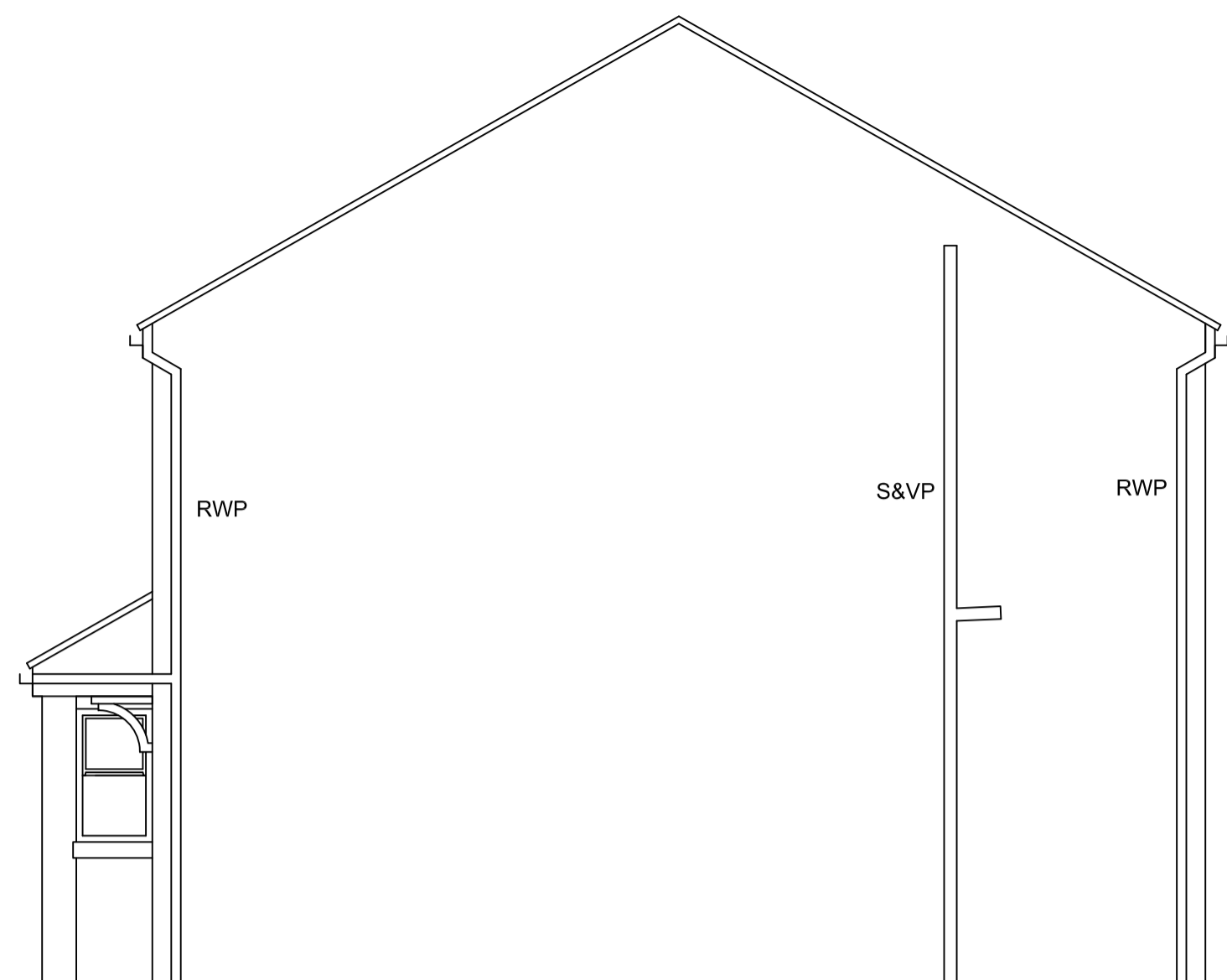
**ELECTRICS:**  
 The appointed contractor to liaise with client for electric service provider to install new supply to the proposed dwelling.  
 Design, supply and install new electric layout to additional areas. Position of switches, sockets and light fittings to Part M Diagram 29 of building regulations.  
 All electrical work required to meet the requirements of Part P (electrical safety) of the building regulations. This work must be designed, installed, inspected and tested by a person competent to do so.  
 The local authority should be satisfied that Part P of the building regulations has been met and the installer may be required to submit an installation certificate to BS 7671.  
 Provide low energy light fittings to 25% of fittings.  
 Supply and install mains operated, self maintained, interconnected smoke detection system; 1 N° per storey to circulation areas.  
 Supply and install electric heating system to all areas.  
 Provide mechanical extractor fan to kitchen (60 litres / sec) and bathroom / shower room (15 litres / sec) all ducted directly to external air.



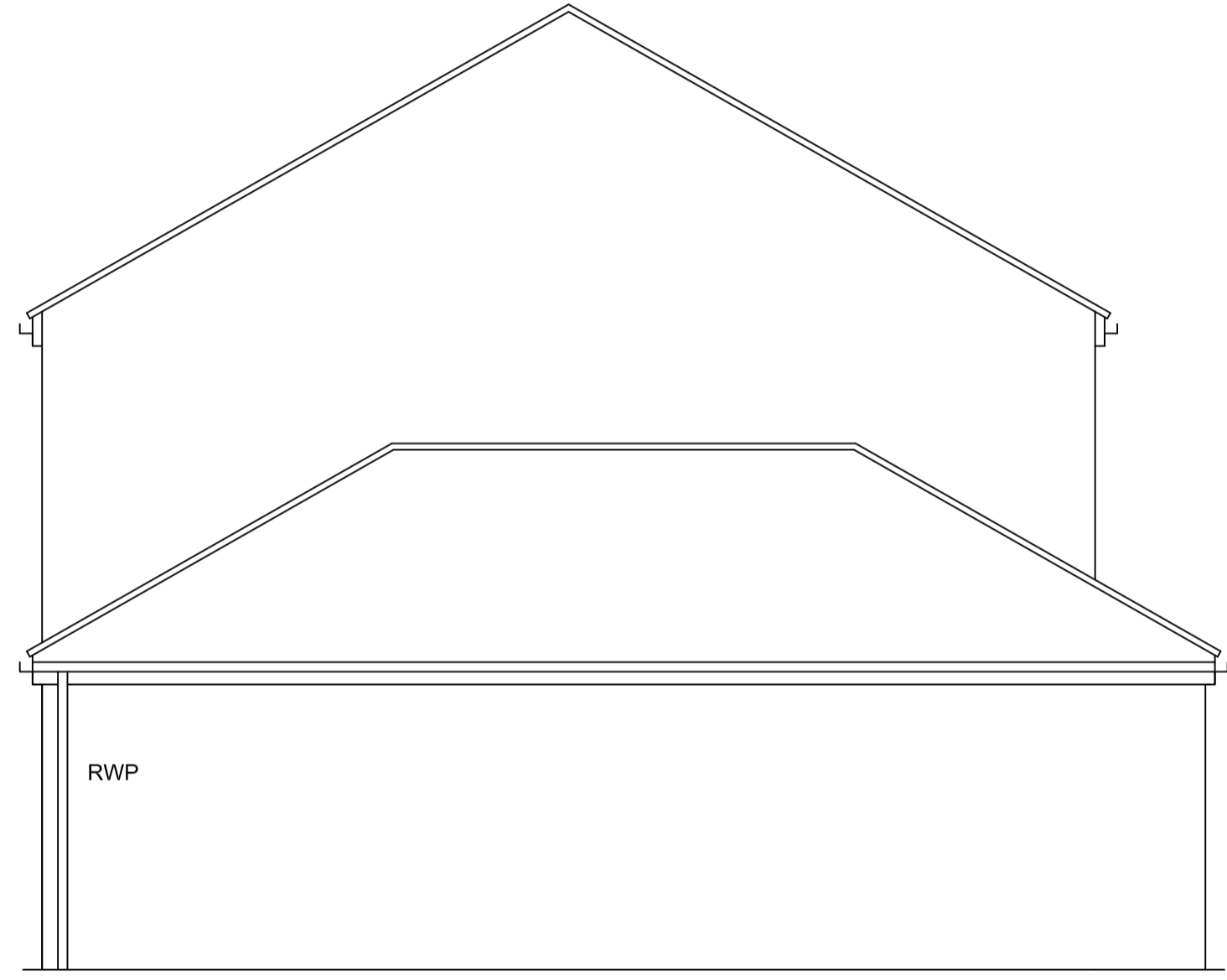
FRONT ELEVATION



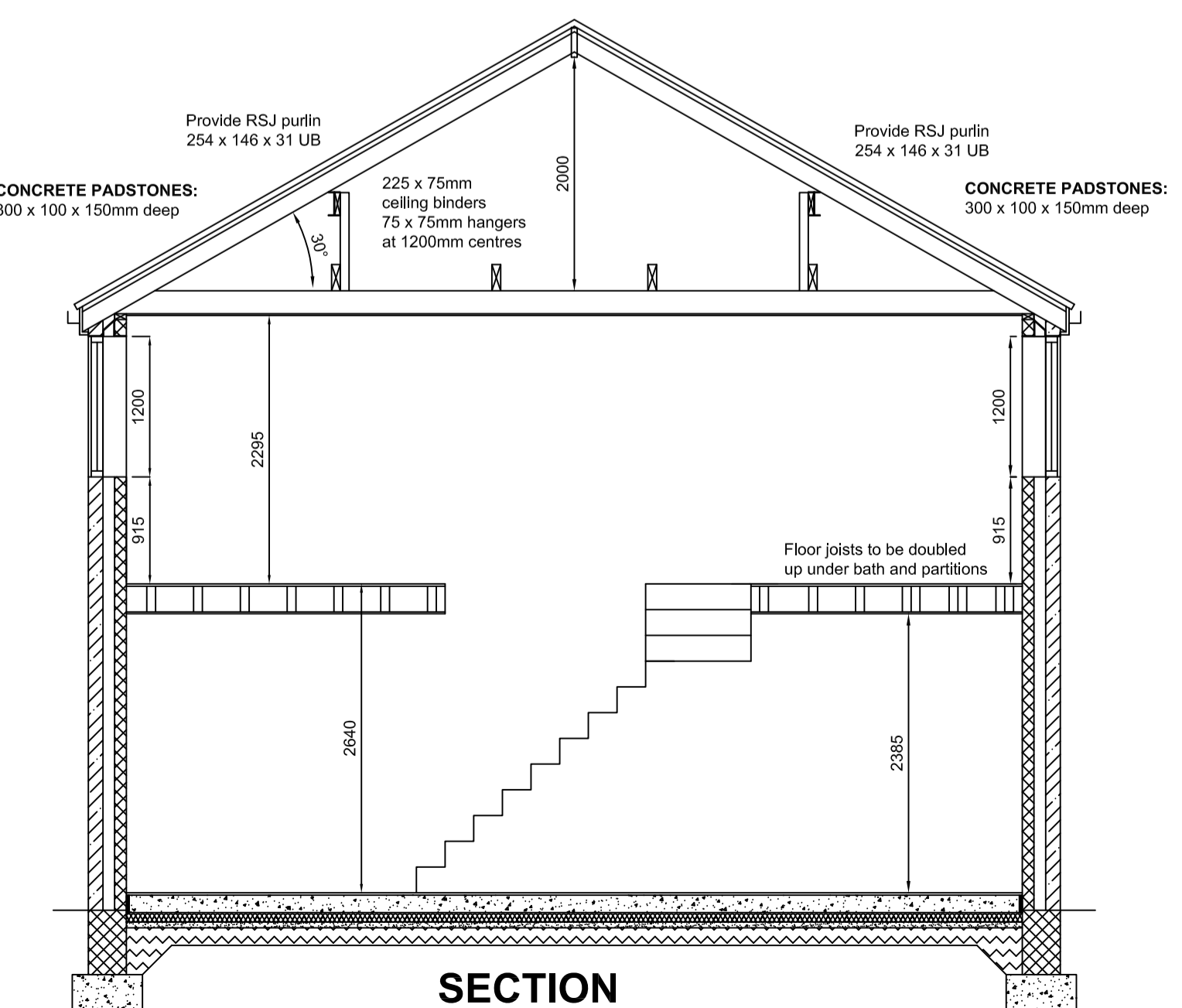
REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION



SECTION

**THE PARTY WALL ACT:**  
 (Party Wall Act to be served by current owner or by appropriate body appointed by current owner).  
 For further clarification on The Party Wall Act contact:  
 Batty France Consultancy, Chartered Building Consultancy,  
 1 Cross Rosse Street, Shipley, Bradford, BD18 3SX  
 T 01274 582661 F 01274 531403 www.battyfrance.co.uk

**WINDOWS:**  
 As per plan. Provide white UPVC framed windows to match existing house in style and design; with 16mm argon filled air gap and a "soft" low - emissive coating, double glazed units.  
 8000 mm<sup>2</sup> trickle vents for background ventilation. (4000mm<sup>2</sup> to bathroom / shower room and kitchen)  
 Maintain minimum 1/20th opener to habitable room windows.  
 Provide escape windows to all habitable rooms minimum 450mm wide x 750mm high, 800-1100mm from finished floor level.  
 All glazing to be Pilkington 'K' glass to Part N of the Building Regulations. Maintain U value 1.8 W/m<sup>2</sup> K.  
 Use Catnic, I.G. or similar approved lintels to openings.

**MATERIALS:**  
 Roof: Tiles to match main house to Planning Authority approval.  
 Walls: Stone work to Planning Authority approval.  
 Windows: UPVC windows to match main house.

**AIR TIGHTNESS TESTING:**  
 Air tightness test to be carried out on completion and approved by building inspector prior to occupation; conditional approval requested.

**SAP AS BUILT CALCULATION:**  
 SAP as built calculation to be carried out by Thermalc Ltd (appointed by MAS Design Consultants Ltd) and approved by building inspector prior to occupation; conditional approval requested.

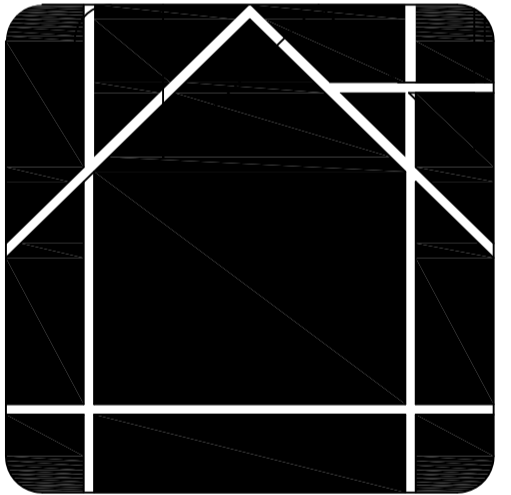
NOTE:  
 PLEASE DO NOT SCALE FROM THIS DRG.

NOTE:  
 CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT

NOTE:  
 Materials to match existing.  
 These notes do not comprise a full specification. They are for general guidance only and their primary function is to assist local authority officers in determining Building Regulation Compliance. All dimensions must be checked on site prior to works starting.  
 Do not scale.  
 All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.  
 All materials must comply with current British Standards in situations used.

REV B 06.08.09.  
 Building inspectors amendments added

REV A 14.07.09.  
 Structural detail added



MAS DESIGN Consultants Ltd

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EXTENT OF PROJECT:  
 PROPOSED DETACHED DWELLING ON LAND ADJACENT 1 WEST VIEW ROAD, BURLEY IN WHARFEDALE

CLIENT DETAILS  
 1 WEST VIEW ROAD  
 BURLEY IN WHARFEDALE  
 ILKLEY  
 LS29 7LE

DRAWING TITLE:  
 PROPOSED PLANS

PAPER SIZE	SCALE	DATE	REV
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