

SITE PLAN 1:200



LOCATION PLAN 1:1250

NOTE:
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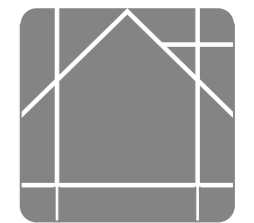
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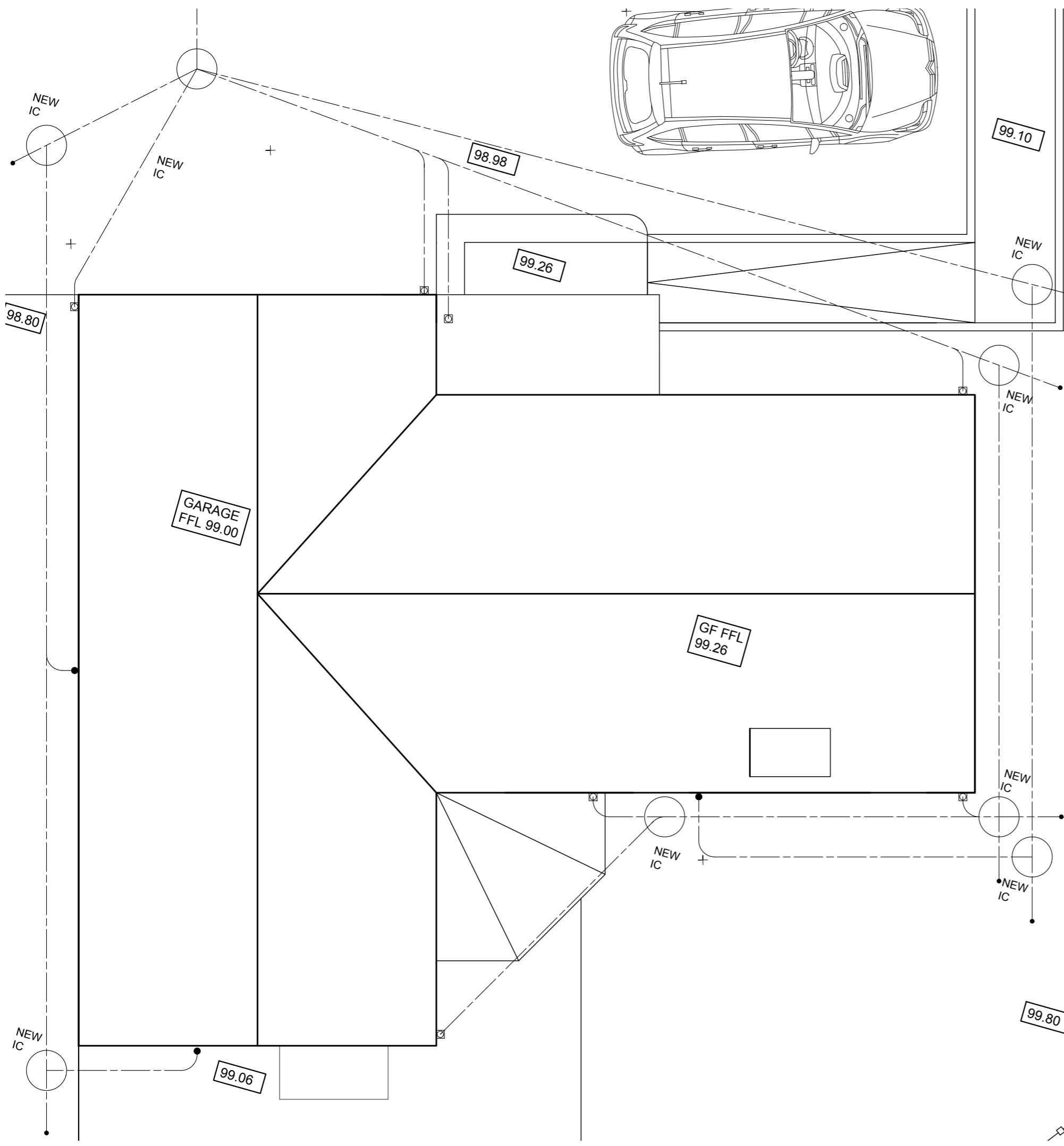
22 Granville Terrace, Guiseley, Leeds, LS20 9DY

EXTENT OF PROJECT:
PROPOSED 3 BED DETACHED DWELLING ON LAND TO SIDE @ 157 TINSHILL LANE COOKRIDGE LEEDS LS16 6EE

CLIENT DETAILS:
JOHN McDONALD
EVERGREEN,
LAYTON AVENUE,
RAWDON,
LEEDS.
LS19 6QQ

DRAWING TITLE:
PROPOSED SITE PLAN

PAPER SIZE	SCALE	DATE	DRAWING No
A3	VA	13/01/11	



PARTY WALL ACT:

Party Wall Act to be served by current owner or appropriate body appointed by current owner, if required. For further clarification on the Party Wall Act contact: Cairn Wharf Blackberry Way, 18 Station Road, Otley, Leeds, LS21 3HX. T 01943 461038 cw@cairnwharf.com For further information on the Party Wall Act: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

DRAINAGE:

Exact position of drains to be established on site and agreed with the Local Building Inspector. All drainage below ground to be Hepworth Supersleve 100mm dia. and 150mm dia. vitrified clay pipework and matching fittings; with minimum gradients 1 in 40. Surface water; 100mm dia. fall 1 in 100. Foul water 150mm dia. 1 in 40 and 1 in 80 fall. Build in new manholes to positions shown in pvc circular units on concrete beds; with cast iron covers and frames all to manufacturers recommendations.

All pipe work with less than 900mm cover to be encased in 150mm concrete. This applied to all drainage passing under paths, drives, roads, buildings or within 1m of external load bearing walls. Movement joints to be positioned in concrete and encasement at natural pipe joints.

All pipes passing through walls and under floors to be encased in concrete 150mm thick all round and protected from loadings with pre cast concrete lintels built into walls. Pipes passing under non-load bearing strata ie., gardens with less than 600mm cover should have at least 100mm granular backfill encased with concrete and paving slabs positioned over prior to backfill.

All pipes to be bedded 100mm granular backfill (max. agg. 10mm) with 100mm selected backfill above pipe (max. agg. 40mm) and 2 further layers of selected backfill as above, hand rammed in layers to give a min. 300mm above crown of pipe before normal backfill. Foul water drains to be laid at a lower level where adjoining or crossing the line of S.W drains. New drainage runs to connect directly into existing network on site and mains drains manhole on edge of boundary. Contractors to allow for all charges etc; for new connections to existing sewers to Yorkshire Water requirements.

All tested and approved by Building control before covering up. All work to comply with requirements of Part H of the Building Regulations.

Rodding Eyes: Provide rodding eyes at head of drain runs where necessary. Terminate drains with a slow bend up to a suitable cast iron cover.

Inspection Chambers: Inspection chambers to be Hepworth Polypropylene sectional with medium duty single seal covers + frames. Inspection chambers required at changes in drain connection / gradient. Inspection chambers to BS 8301 & sizes to be in accordance with L.A schedule of manholes sizes.

Gully Traps to SVP's and Waste Connection: To be as above, ie. back inlet type roddable with removable traps and on concrete pads / bases.

Yard Gullies: Yard gullies to be trapped, with removable traps to permit rodding access.

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DRAWING TITLE:

PROPOSED DRAINAGE PLAN

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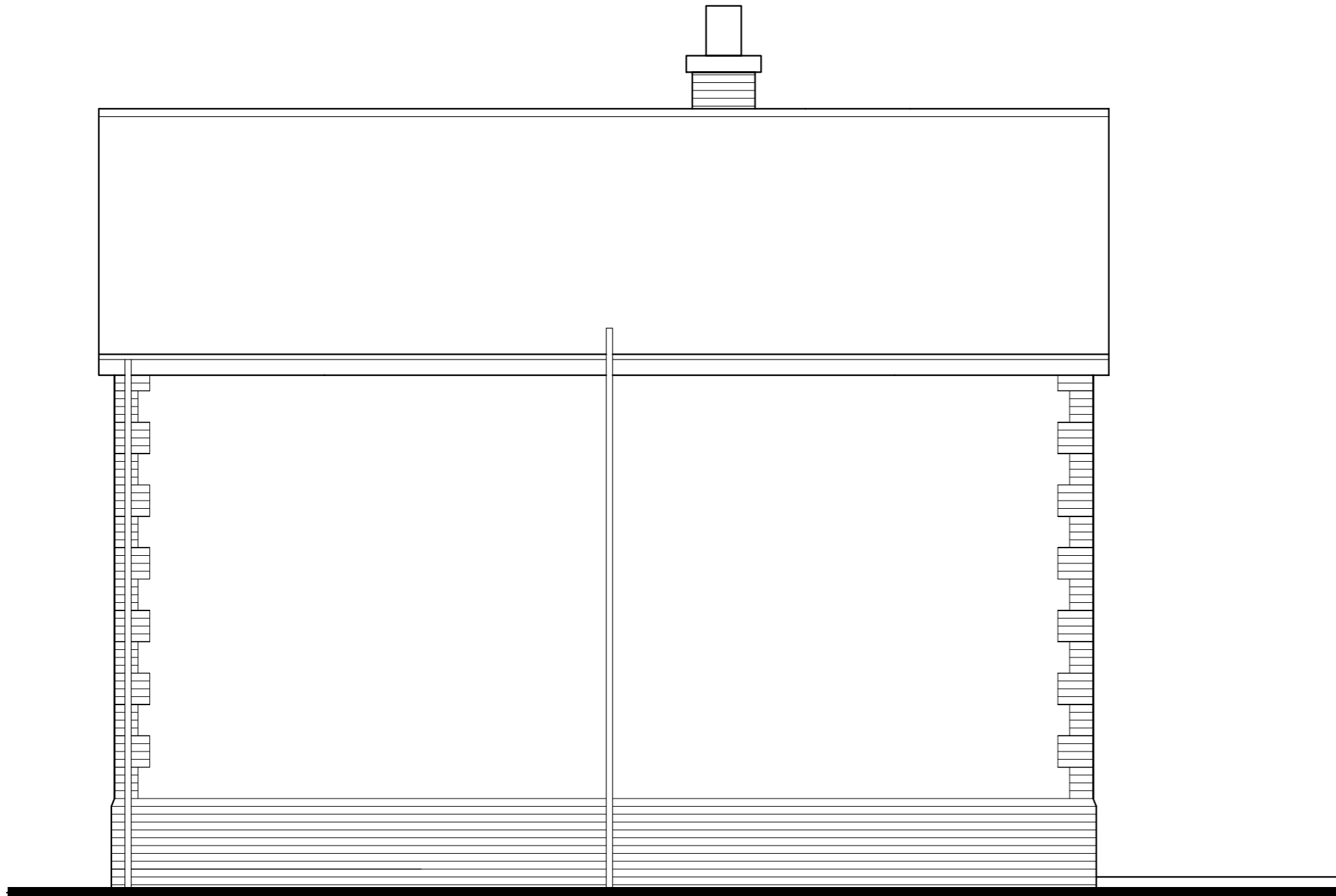
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PROPOSED REAR ELEVATION

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REAR ELEVATION 1:50



SIDE ELEVATION 1:50

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FRONT ELEVATION 1:50



SIDE ELEVATION 1:50

PLUMBING:

All new fittings to WC / bathroom / en suites to be to owners choice. Provide internal 100mm diameter soil & vent pipe with branch pipes as required to B.S. 5414. SVP to extend a min 900mm above any ventilation opening within 3m and fitted with bird proof cage. 100mm diameter stub stacks with Durgo valves to ground floor WC's. Provide plumbing and connect to soil stacks, low level suites via 100mm diameter pvc pipes, bath/showers via 38mm diameter pvc. pipes with anti-vacuum traps and wash basins via 32mm diameter pvc pipes and anit-vacuum traps. Ground floor wc and basin to connect to 100mm diameter SVP fitted with air admittance valve terminating at least 150mm above whb level. All SVPS to have rodable access point at base. Sinks to have 42mm diameter waste. All traps and seals to appropriate British Standards.

All work to comply with Part J of the Building Regulations.

All details to be submitted by an approved CORGI contractor; Including all certificates for Building Inspectors approval.

HEATING:

Provide new gas supply to dwelling; including for new mains supply box to new external wall; All work to be carried out by service provider and in conjunction with appointed building contractor. Client to liase with service provider over new meter.

Provide new independent heating and hot water system to include air source heat pump (Mitsubishii Ecodan W85 or similar) with 210 litre internal DHW tank (Kingspan FTC2 Heat pump cylinder or similar); serving radiators controllable in each room with thermostatic radiator valves and fully pumped with bypass programmer.

All work to be carried out by a registered CORGI operator and designed to give heat in accordance with the latest edition of the Building Regulations and Corgi requirements.

FINISHES:

12.5mm plasterboard and skim finish to walls. 12.5mm plasterboard and skim finish to ceilings. Floors to be tongue and groove chipboard or alternative to clients requirements. Skirting and architraves to client choice.

Apply 15mm fireline polasterboard & skim finish to garage ceiling.

All non load bearing internal partitions to be 75 x 50mm studwork at 400mm max. centres with 12.5mm plasterboard and skim finish. Partitions to have 75mm. mineral wool sound insulation quilt between up rights through out, density not less than 10kg/m3. All boards to be staggered and joints scrimmed and fixed in accordance with the manufactures instructions.

All joints between fixed building components to be installed to App. doc. Part L1 B Section 2 to prevent cold bridging and infiltration and to supress air movement through the structure. All joints to be sealed with silicone sealant mastic. All holes for services to be cut with correct size hole cutter and sealed using expanded foam filler to prevent air movements.

Kitchen to clients own choice of style / specification. Contractor to liaise with owner and to appoint kitchen design representative to discuss proposed layout.

Include generally for all making good to all surfaces inside and out including decorative finishes.

DOORS:

826mm hardwood internal timber doors to ground floor and first floor. Internal doors to have minimum 750mm clear openings. Internal garage door to be FD30 fire resistant grade to an approved certificated manufacturer.

DECORATION:

All decorative finishes to be agreed with owner and main contractor for pricing purposes.

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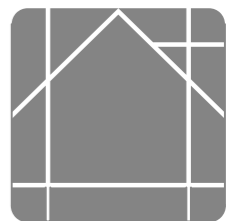
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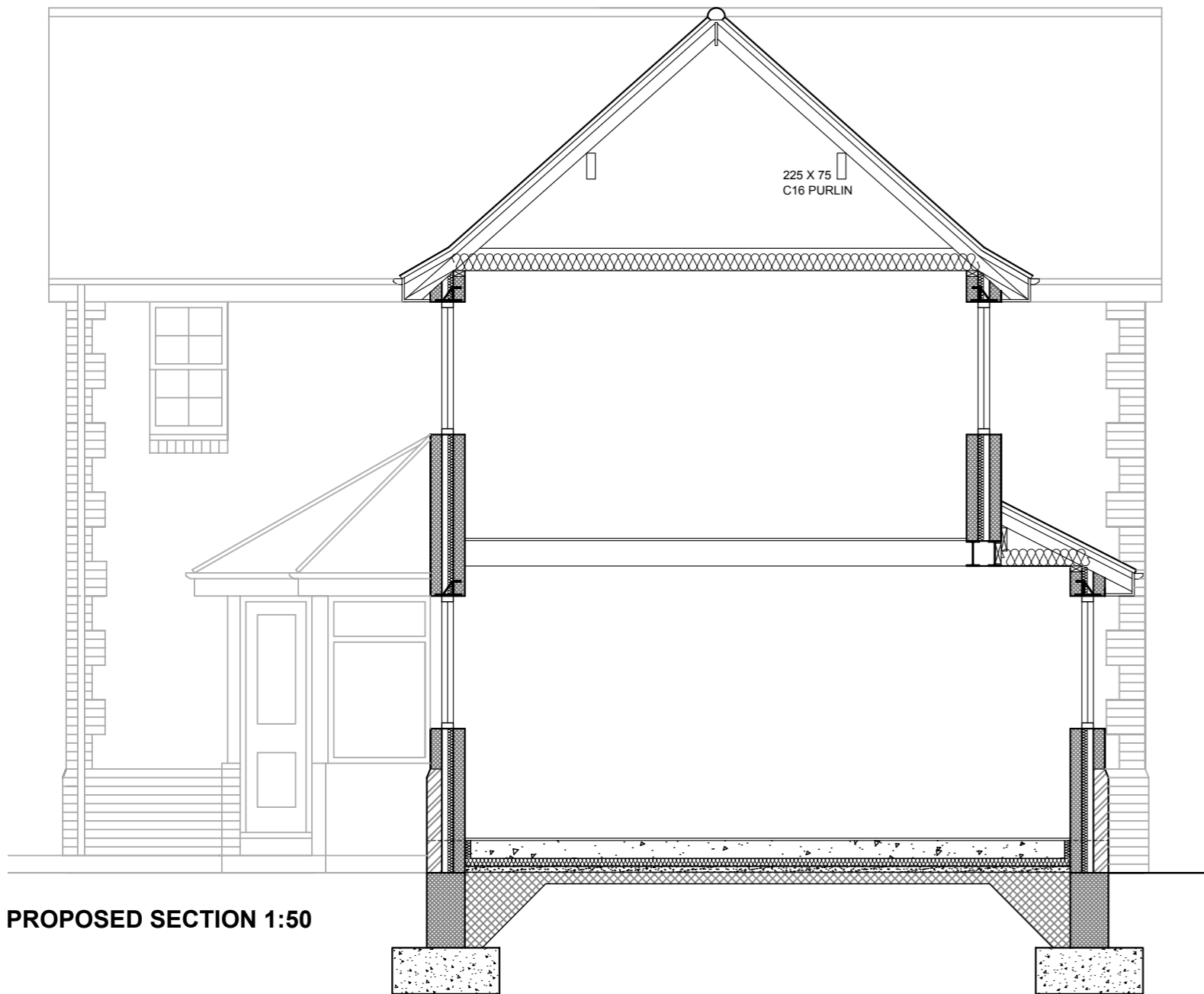
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PROPOSED SECTION 1:50

ROOF:

MAIN ROOF:

100 x 47mm C16 rafters at 400mm centres. (max. span 2260mm)
 Provide lateral restraint straps at 2 metre centres.
 195 x 47mm C16 ceiling joists at 400mm centres. (max. span 4410mm) Provide lateral restraint straps at 2 metre centres. 200 x 35mm ridge board. 225 x 75mm c16 purlins. Provide 100 x 50mm wall plates, with holding down straps. (30 x 5mm mild steel straps at 900mm centres). Provide 2 layers of 150mm Rockwool between and over ceiling joists to achieve 0.16 U value. Provide 75mm Kingspan K7 between rafters at soffit level. Eaves ventilation minimum 25mm.
 Roof tiles to match 157 Tinshill lane to suit 43-45° pitch, on 38 x 25mm battens, on Tyvec breathable roofing membrane to B.S 747. Fascias and soffits to match existing.

SINGLE STOREY:

100 x 47mm C16 rafters at 400mm centres. Provide lateral restraint straps at maximum 2 metre centres. Support rafters via wall plate; rawl bolted to brickwork at 400mm centres. Use code 4 lead flashing up stand. Provide 100 x 50mm wall plate with holding down straps. (30 x 5mm mild steel straps at 900mm centres). Provide 2 layers of 150mm Rockwool between and over ceiling joists to achieve 0.16 U value. Provide 75mm Kingspan K7 between rafters at soffit level. Eaves ventilation minimum 25mm. Provide fascias and soffits; with a 25mm screened eaves ventilation. Tyvec breathable roofing membrane; with roof tiles to match 157 Tinshill lane to suit 27° pitch, on 38 x 25mm battens

GLAZED ROOF:

Aluminium framed glazed roof to rear porch with 20mm argon filled double glazed units all to specialist manufacture and installation. Glazing all to be laminated safety glass

STAIRS:

Trim out openings to timber upper floor for new stairs. Double up floor joists as stair trimmers. Fix new timber staircases with 13 no rises of 200mm and goings of 245mm; minimum width of flight to be min 900mm. Handrails fixed at 900mm measured vertically above pitch line & 1100mm above landings. 100mm newel post. Balusters to be at max 100mm centres. Maximum pitch 42 degrees. 2000mm clear headroom to be maintained to staircase flight. Staircase to be bolted to load bearing walls using M12 bolts at 300mm centres. Maintain clear landings to top (depth equal to clear width) and bottom of stairs (depth minimum 400mm).

WINDOWS:

Form new openings as shown on the enclosed plans. Provide UPVC framed windows with opening lights, to give natural light + ventilation requirements; min 1/20th floor area; with 16mm argon filled air gap and a soft low - E coating double glazed units; with 4000mm² (bathroom) / 8000mm² trickle vents for background ventilation. Maintain 750mm high x 450mm wide escape windows - equalling o/a clear opening of 0.33m² and cill height between 800 - 1100mm from finished floor level to bedrooms. Provide obscure glazing to bathroom and en suite windows. All glazing to be Pilkington 'K' glass to comply with Part N of building regulations. Maintain U value of 1.6 W/m² K. All glazing to windows less than 800mm from internal floor level to be toughened/ laminated safety glass in accordance with BS 6206.

Use catnic, I.G or similar approved lintels to openings. See elevations + sections for locations.

EXTERNAL STEPS:

External steps to have equal risers of between 155 and 220mm used with goings of between 245 and 260mm.

FOUNDATIONS:

Trial holes to be carried out by main contractor prior to work starting on site to ascertain ground conditions for design of foundation.

STANDARD STRIP FOOTING:

New foundations to be a minimum of 750mm below ground level - to upper surface. Foundations to be 700 wide x 300mm thick concrete strip footing taken down to a suitable bearing strata / depth agreed with Local Authority Building Inspector. Foundations to be taken below any drains and 150 x 100mm concrete lintels to be provided where building over.

All alternative non strip foundations and retaining walls to be to an approved design by structural engineers.

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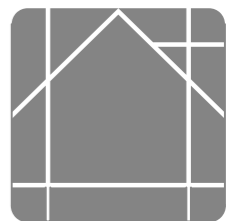
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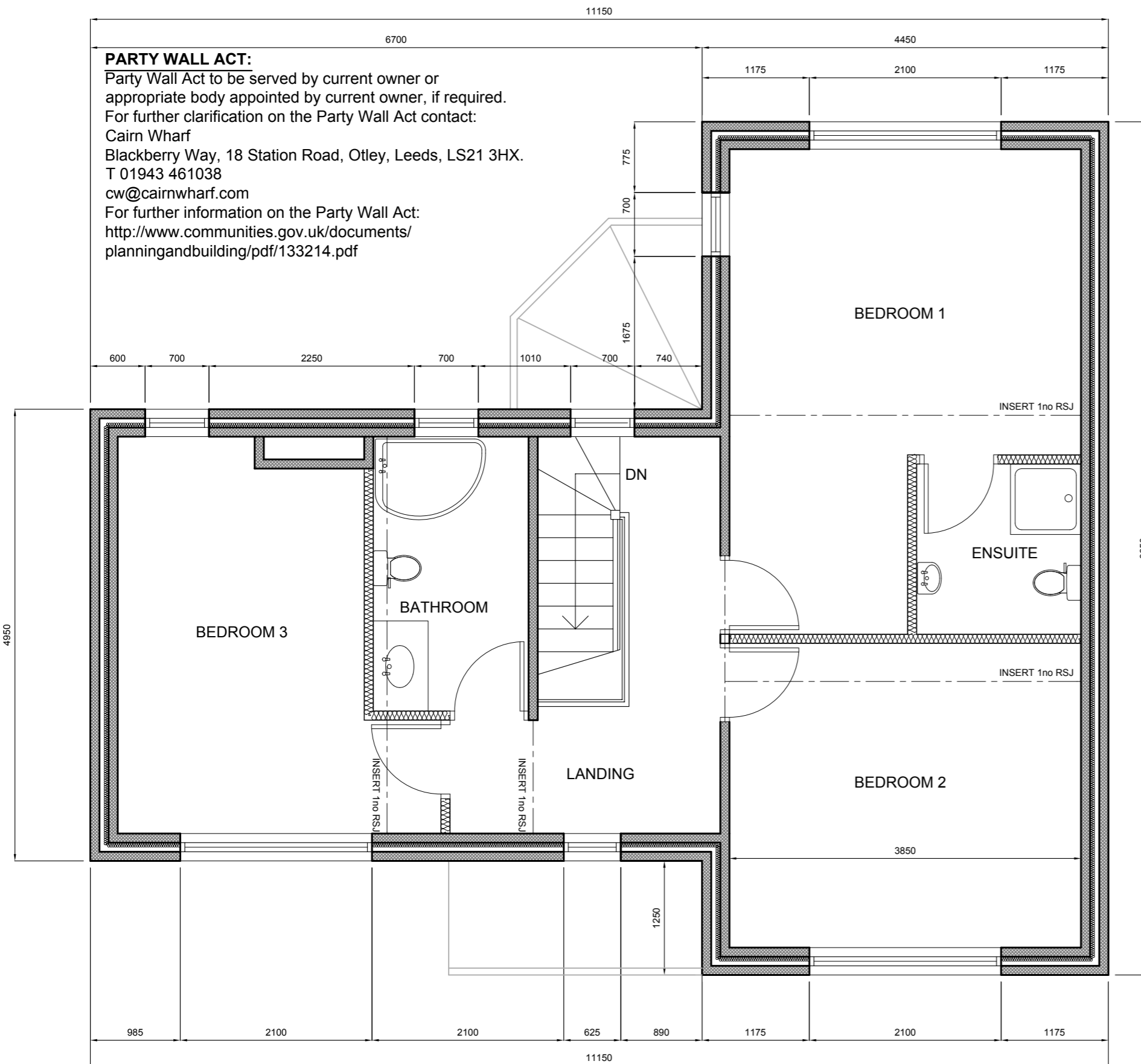
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DRAWING TITLE:
 PROPOSED SECTION

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FLOORS:

Ground floor:

To consist of 150mm. clean hardcore, with sand blinding, 2000 gauge visqueen membrane linked to D.P.C. (DPM to be of sufficient quality to provide basic radon protection in accordance with Part C of the building regulations). 80mm thick thermafloor TF70 zero ODP by Kingspan to give a U value not greater than 0.22 W / m² K. Board to be also place around slab edge to prevent thermal bridging. Concrete floor slab 150mm thick. Provide duct channels to concrete screed finish to allow for any pipe work. Finishes to clients own choice.

First floor:

220 x 50mm C16 floor joists at 400mm centres. (max span. 4110mm). Provide mid point strutting and lateral restraint straps. Joists to be fixed to walls via catnic hangers. Provide 100mm rock wool sound insulation quilt between joists and maintain 10/kg/m³ density. Provide tongue and groove chipboard cover or alternative to clients requirements.

ELECTRICS:

Provide new supplies to dwellings; including for new mains supply box to external wall; all work to be carried out by service provider in conjunction with appointed building contractor.

Design, supply and install full electrical layout to specification carried out by electrical engineer. Positions to switches, sockets and light fittings to Part M Diagram 29 of building regulations. All electrical work required to meet the requirements of Part P (electrical safety) of the building regulations. This work must be designed, installed, inspected and tested by a person competent to do so. The local authority should be satisfied that Part P of the building regulations has been met and the installer may be required to submit an installation certificate to BS 7671.

Provide low energy light fitting to 75% of dwelling.

VENTILATION:

Kitchen: Provide extract fan in external wall capable of extracting air at a rate not less than 60 litres/seconds or incorporated within a cooker hood to achieve 30 L/seconds. Background ventilation to achieve not less than 4000 sq mm i.e. trickle ventilators in windows.

W.C + En Suite + Bathroom: Provide mechanical ventilation with extract fan in external wall or at high level through ceiling ducted out to external air, capable of extracting air at a rate not less than 15 L/seconds which maybe operated intermittently with a 15 minute over run.

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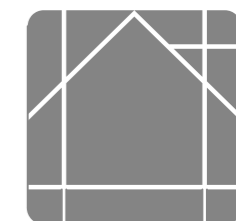
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DRAWING TITLE:
PROPOSED FIRST FLOOR PLAN

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SAP CALCULATION:

All SAP calculations to be carried out by contractor appointed by MAS Design Consultants Ltd. (THERMCALC. Energy Rating Services. 1 Landway, Borough Green, Kent, TN15 8RG. Tel: 01732 885760).

PRESSURE TESTING / AS BUILT SAP CALCULATIONS:

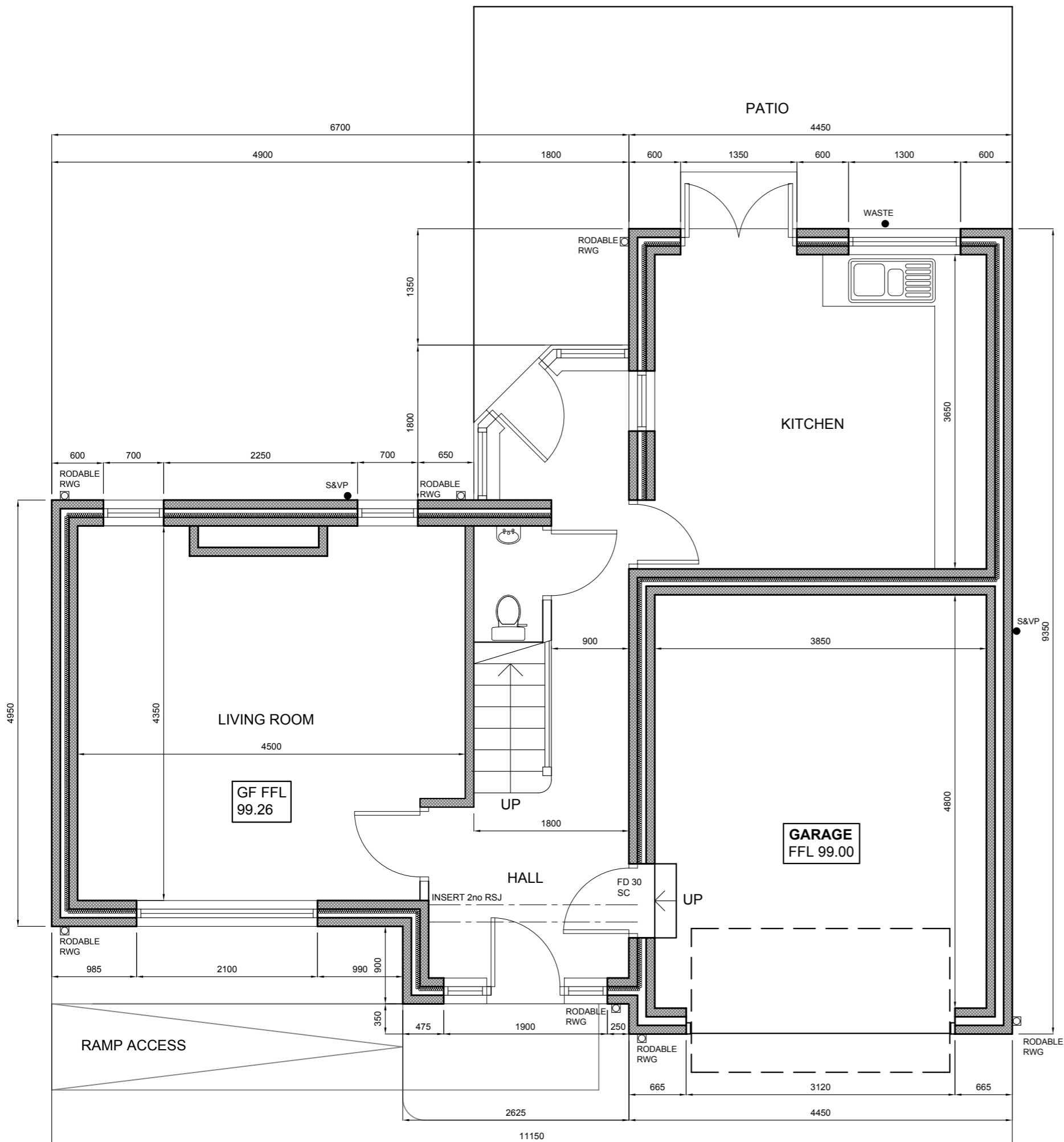
Air pressure tests and as built sap Rating calculations to be carried out at completion of building works (conditional approval).

SMOKE ALARMS:

Supply and install a mains operated, self maintained, interconnected smoke detection system; 1 N^o per floor level to each landing circulation area. All work to comply with BS5839 Part 1.

Supply and install heat detector to kitchen.

Upon completion the LA to be provided with a copy of an appropriate BS 7671 electrical Certificate.



INTERNAL WALL CONSTRUCTION:

Shall comply with B.S 2028:1364:1964 and B.S. 6073 Part 1 to thickness indicated; built off foundation walls and footings all as previously described and all finished with 2 coat 13mm Carlite plasterwork. All Sleeper walls to lines shown on drawings to be built off concrete footings or slab thickenings as indicated on engineers details. 13mm plaster and skim finish both sides unless stated otherwise. Provide DPC to be lapped with DPM. Provide pre cast Naylor reinforced lintels to internal load bearing openings. (All to maintain 150mm bearing capacity).

OPENINGS:

Contractor to form new window / door openings as shown. Lintels over window and door openings to be catnic, IG. or similar approved; fitted in accordance with manufacturers specifications. Provide pre cast reinforced lintels to internal load bearing openings. (All to maintain 150mm bearing capacity).

STEELWORK:

Steelwork RSJ's as shown to structural engineers calculations / design. All new steel work to sit on concrete pad stones; as per Structural engineer detail. (conditional approval requested for building regulation compliance).

Maintain 150mm bearing capacity. Clad steelwork with 15mm fire line plasterboard & skim to give 30 minutes fire resistance. (Drawings to be read in conjunction with engineers details).

WALLS:

Provide Celcon Foundation 7 Blocks below ground level; with a compressive strength of 7.3 N mm². Provide brickwork / block with render to outer skin, 100mm cavity and Celcon Aircrete Standard 100mm block work inner leaf. Cavity to have 50mm thick Kingspan Kooltherm K8 Cavity Board, Zero ODP insulation board, fixed to inner leaf to give a U value of 0.28 W/m² K. Wall ties to be stainless steel vertical twist type (with retaining clips) at 450mm vertical and 750mm horizontal spacings; reduced to 225mm to reveals; all to B.S. 1243. Provide DPC to walls 150mm above external ground level. Heads, cills, and jamps to be closed with insulated masonry and DPC cloaks/ trays. DPC' to be lipped and fixed in position on external leaf with poly sulphide sealant. Cavities to be insulated cavity closers. All cavity trays to have weep holes at max. 400mm centres. All work to comply with Part A of building regulations.

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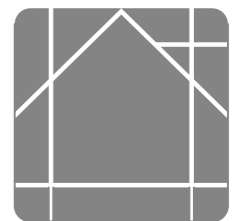
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EXTENT OF PROJECT:
PROPOSED 3 BED DETACHED DWELLING ON LAND TO SIDE @ 157 TINSHILL LANE COOKRIDGE LEEDS LS16 6EE

CLIENT DETAILS:
JOHN McDONALD
EVERGREEN.
LAYTON AVENUE,
RAWDON,
LEEDS.
LS19 6QQ

DRAWING TITLE:
PROPOSED GROUND FLOOR PLAN

PAPER SIZE	SCALE	DATE	DRAWING No
A3	1:50	13/01/11	