

**ELECTRICS:**  
Design, supply and install new electric layout to additional areas. Positions of switches, sockets and light fittings to Part M Diagram 29 of building regulations. All electrical work required to meet the requirements of Part P (electrical safety) of the building regulations. This work must be designed, installed, inspected and tested by a person competent to do so. The local authority should be satisfied that Part P of the building regulations has been met and the installer may be required to submit an installation certificate BS7671.

Provide low energy light fittings to all new rooms. Supply & install mains operated, self maintained, interconnected smoke detection; 1 no. per storey. Provide mechanical extract fans to kitchen (60 litres / sec), utility (30 litres / sec) and W.C. en suite, bathroom (15 litres / sec); all ducted directly to external air.

Provide low energy light fitting to bedroom.

**Ventilation:**

**Kitchen:** Provide extract fan in external wall capable of extracting air at a rate not less than 60 litres/seconds or incorporated within a cooker hood to achieve 30 L/seconds. Background ventilation to achieve not less than 4000 sq mm i.e. trickle ventilators in windows.

**W.C + Bathroom:** Provide mechanical ventilation with extract fan in external wall or at high level through ceiling ducted out to external air, capable of extracting air at a rate not less than 15 L/seconds which may be operated intermittently with a 15 minute over run.

**Utility:** Provide mechanical ventilation with extract fan in external wall or at high level through ceiling ducted out to external air, capable of extracting air at a rate not less than 30 L/seconds which may be operated intermittently with a 15 minute over run.

**Smoke Alarms:**  
Supply and install a mains operated, self maintained, smoke detection system; 1 N<sup>o</sup> per room opening on to stairs and 1 N<sup>o</sup> per floor level to each landing circulation area. All work to comply with BS5839 Part 1.

Supply and install heat detector to kitchen.

Upon completion the LA to be provided with a copy of an appropriate BS 7671 electrical Certificate.

**PLUMBING:**

All new fittings to WC / bathroom / en suites to be to owners choice. Provide internal 100mm diameter soil & vent pipe with branch pipes as required to B.S. 5414.

SVP to extend a min 900mm above any ventilation opening within 3m and fitted with bird proof cage. 100mm diameter stub stacks with Durgo valves to ground floor WC's. Provide plumbing and connect to soil stacks, low level suites via 100mm diameter pvc pipes, bath/showers via 38mm diameter pvc pipes with anti-vacuum traps and wash basins via 32mm diameter pvc pipes and anti-vacuum traps. Ground floor wc and basin to connect to 100mm diameter SVP fitted with air admittance valve terminating at least 150mm above whb level.

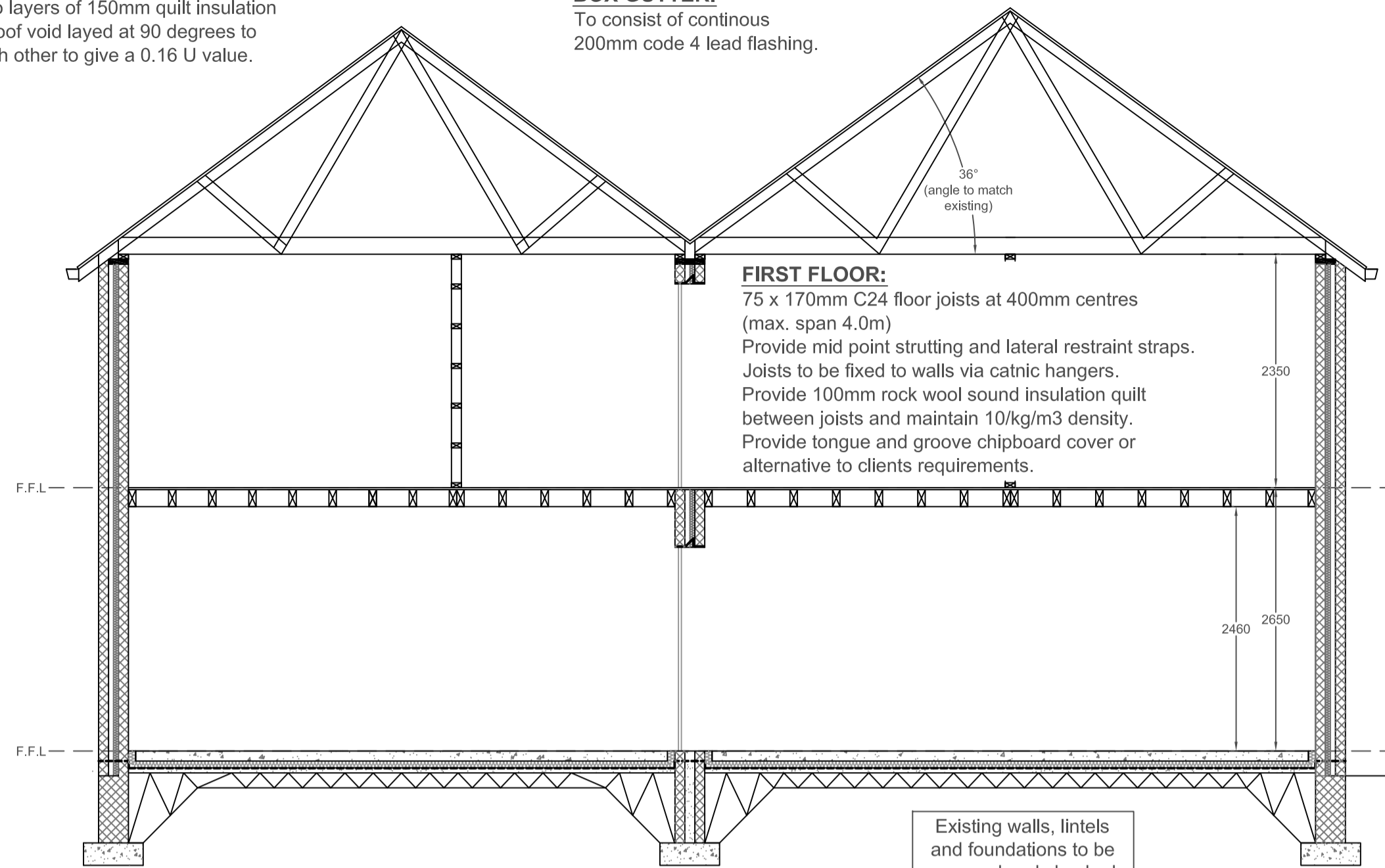
All SVPs to have rodable access point at base. Sinks to have 42mm diameter waste. All traps and seals to appropriate British Standards.

**DRYLINING:**

Drylining to external walls of proposed study. Fix 50 x 50mm studwork @ 400mm centres to existing assumed non insulated wall. Insulate with 50mm thick kingspan thermawall TW50 zero OPD insulate. Apply plasterboard / skim finish.

**INSULATION:**  
Two layers of 150mm quilt insulation to roof void layed at 90 degrees to each other to give a 0.16 U value.

**BOX GUTTER:**  
To consist of continous 200mm code 4 lead flashing.



**PROPOSED SECTION A-A**

**FOUNDATIONS:**  
New foundations to be a minimum of 750 mm below ground level - to upper surface. Foundations to be 700 wide x 300mm thick concrete strip footing taken down to a suitable bearing strata / depth agreed with Local Authority Building Inspector. Foundations to be taken below any drains and 150 x 100mm concrete lintels to be provided where building over.

All alternative non strip foundations and retaining walls to be to an approved design by structural engineers.

**WALLS:**

Provide Celcon Foundation 7 Blocks below ground level; with a compressive strength of 7.3 N mm<sup>2</sup>. Provide blockwork and render to outer skin, 100mm cavity and Celcon Aircrete Standard 100mm blockwork inner leaf. Cavity to have 50mm thick King span thermawall TW50 Zero ODP insulation board fixed to inner leaf to give a U value of 0.3 W / m<sup>2</sup> K. Wall ties to be stainless steel vertical twist type (with retaining clips) at 450mm vertical and 750mm horizontal spacings; reduced to 225mm to reveals; all to B.S. 1243. Provide DPC to walls 150mm above external ground level. Heads, cills, and jambs to be closed with insulated masonry and DPC cloaks/ trays. DPC to be lipped and fixed in position on external leaf with poly sulphide sealant. Cavities closed at wall plate level via a slate closer. Cavities to be insulated cavity closers. All cavity trays to have weep holes at max. 400mm centres. All work to comply with Part A of building regulations.

**INTERNAL WALL CONSTRUCTION:**  
Shall comply with B.S 2028:1364:1964 and B.S. 6073 Pat 1 to thickness indicated; built off foundation walls and footings all as previously described and all finished with 2 coat 13mm Carlite plasterwork. All Sleeper walls to lines shown on drawings to be built off concrete footings or slab thickenings as indicated on Engineers details. 13mm plaster and skim finish both sides unless stated otherwise. Provide DPC to be lapped with DPM.

Provide pre cast Naylor reinforced lintels to internal load bearing openings. (All to maintain 150mm bearing capacity).

**GROUND FLOOR:**

To consist of 150mm. clean hardcore, with sand blinding, 2000 gauge visqueen membrane linked to D.P.C. (DPM to be of sufficient quality to provide basic radon protection in accordance with Part C of the building regulations). 80mm thick thermafloor TF70 zero ODP by Kingspan to give a U value not greater than 0.22 W / m<sup>2</sup> K. Board to be also place around slab edge to prevent thermal bridging. Concrete floor slab 150mm thick. Provide duct channels to concrete screed finish to allow for any pipe work. Finishes to clients own choice.

**GARAGE FLOOR:**

To consist of 150mm clean hardcore, with sand binding, 1200 gauge visqueen membrane linked to D.P.C. Concrete reinforced floor slab 150mm thick.

NOTE:  
PLEASE DO NOT SCALE FROM THIS DRG.

NOTE:  
CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT.

**Notes:**

Materials to match existing.

These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

Do not scale from this drawing.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

**FINISHES:**

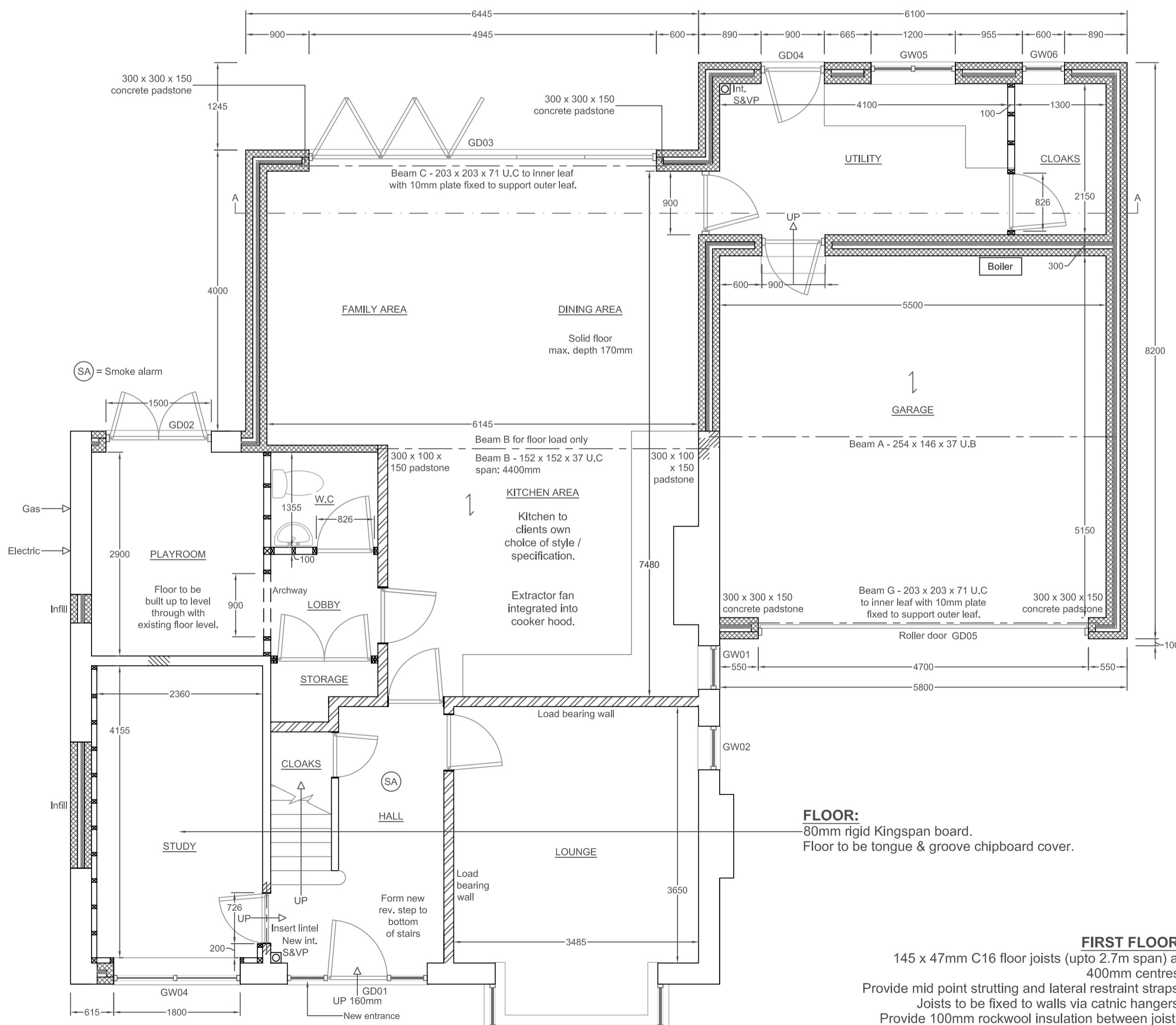
12.5mm plasterboard and skim finish to walls. 12.5mm plasterboard and skim finish to ceilings. Floors to be tongue and groove chipboard. Skirtings and architraves to match existing. Fascias to match existing.

All non load bearing internal partitions to be 75 x 50mm studwork at 400mm max. centres with 12.5mm plasterboard and skim finish. Partitions to have 75mm mineral wool sound insulation quilt between up rights through out, density not less than 10kg/m<sup>3</sup>. All boards to be staggered and joints scrimmed and fixed in accordance with the manufactures instructions.

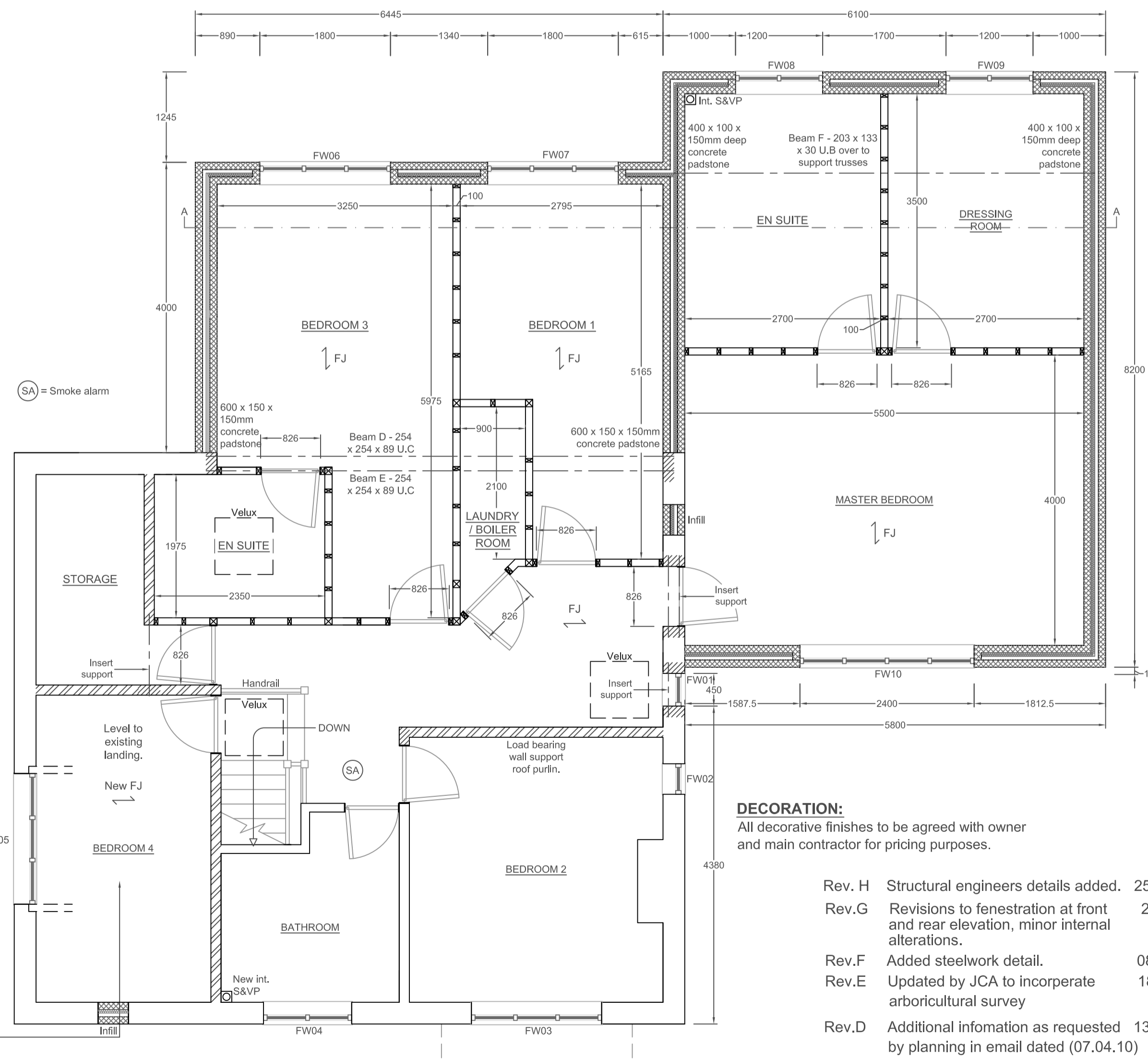
All joints between fixed building components to be installed to App. doc. Part L1 B Section 2 to prevent cold bridging and infiltration and to suppress air movement through the structure. All joints to be sealed with silicone sealant mastic. All holes for services to be cut with correct size hole cutter and sealed using expanded foam filler to prevent air movements.

Kitchen to clients own choice of style / specification. Contractor to liaise with owner and to appoint kitchen design representative to discuss proposed layout.

Include generally for all making good to all surfaces inside and out including decorative finishes.



**PROPOSED GROUND FLOOR PLAN**



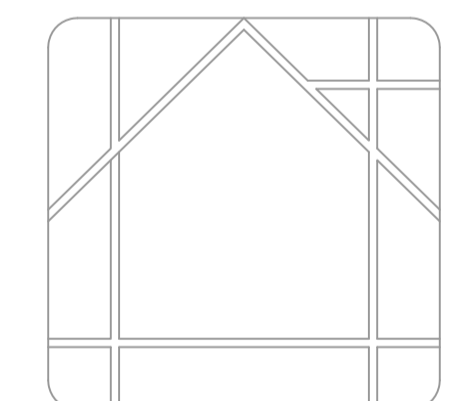
**PROPOSED FIRST FLOOR PLAN**

**FLOOR:**  
80mm rigid Kingspan board. Floor to be tongue & groove chipboard cover.

**FIRST FLOOR:**  
145 x 47mm C16 floor joists (upto 2.7m span) at 400mm centres. Provide mid point strutting and lateral restraint straps. Joists to be fixed to walls via catnic hangers. Provide 100mm rockwool insulation between joists to achieve a U value of 0.2 W/m<sup>2</sup>K. Provide tongue & groove chipboard cover or alternative to clients requirements.

**DECORATION:**  
All decorative finishes to be agreed with owner and main contractor for pricing purposes.

|        |  |          |
|--------|--|----------|
| Rev. H | Structural engineers details added.  | 25/10/10 |
| Rev. G | Revisions to fenestration at front and rear elevation, minor internal alterations. | 27/09/10 |
| Rev. F | Added steelwork detail.  | 08/09/10 |
| Rev. E | Updated by JCA to incorporate arboricultural survey                                | 18/06/10 |
| Rev. D | Additional information as requested by planning in email dated (07.04.10)          | 13/04/10 |
| Rev. C | Updated at instruction of client.  | 03/02/10 |
| Rev. B | Amendment to address planning app. refusal; reduced width of side extension.       | 28/01/10 |
| Rev. A | Amendments to suit finalised alterations.  | 24/11/08 |



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**EXTENT OF PROJECT:**  
PLANS AND APPLICATION FOR PROPOSED TWO STOREY SIDE EXTENSION; FORMING DOUBLE GARAGE AND MASTER BEDROOM / EN SUITE; INCLUDING AMMENDMENTS TO PLANNING APPROVAL (08/05198/FUL) AND BUILDING REGULATION APPROVAL (B08/03537/PAS)

**CLIENT DETAILS:**  
17 MENSTON OLD LANE,  
BURLEY IN WHARFEDALE  
LS29 7QQ.

**DRAWING TITLE:**  
PROPOSED GROUND AND FIRST FLOOR PLANS.

| PAPER SIZE | SCALE | DATE     | DRAWING No. |
|------------|-------|----------|-------------|
| A1         | 1:50  | 03/11/09 | P-02 Rev.G  |