

DOORS:
Provide 30 minute fire doors to new loft bedrooms and to all habitable rooms to escape route.

VELUX:
Velux's 780 x 1180mm fitted at minimum 15° angle. Double up rafters to side of opening and fit to manufacturers requirements.

WALLS:
All load bearing partitions to be 100 x 50mm C24 timber studwork at 400mm max. centres; fixed to floor RSJ via wall plate. Nail to rafters and wall plate using a min. of 2no. 75mm long nails. Finish with 13mm ply face to either side and 12.5mm plasterboard and skim finish. Partitions to have 100mm Kingspan Thermopitch TP10 insulation or equivalent between uprights.

FINISHES:
Internal stud partitions to be 75 x 50mm studwork at 600mm centres, with 12.5mm plasterboard and skim finish to walls and ceilings. Partitions to have 50mm mineral wool sound insulation between uprights; minimum density 10 kg/m³. 12.5mm plasterboard and skim finish to walls and ceilings. Skirtings and architraves to match existing. Floor to tongue and groove chipboard cover.

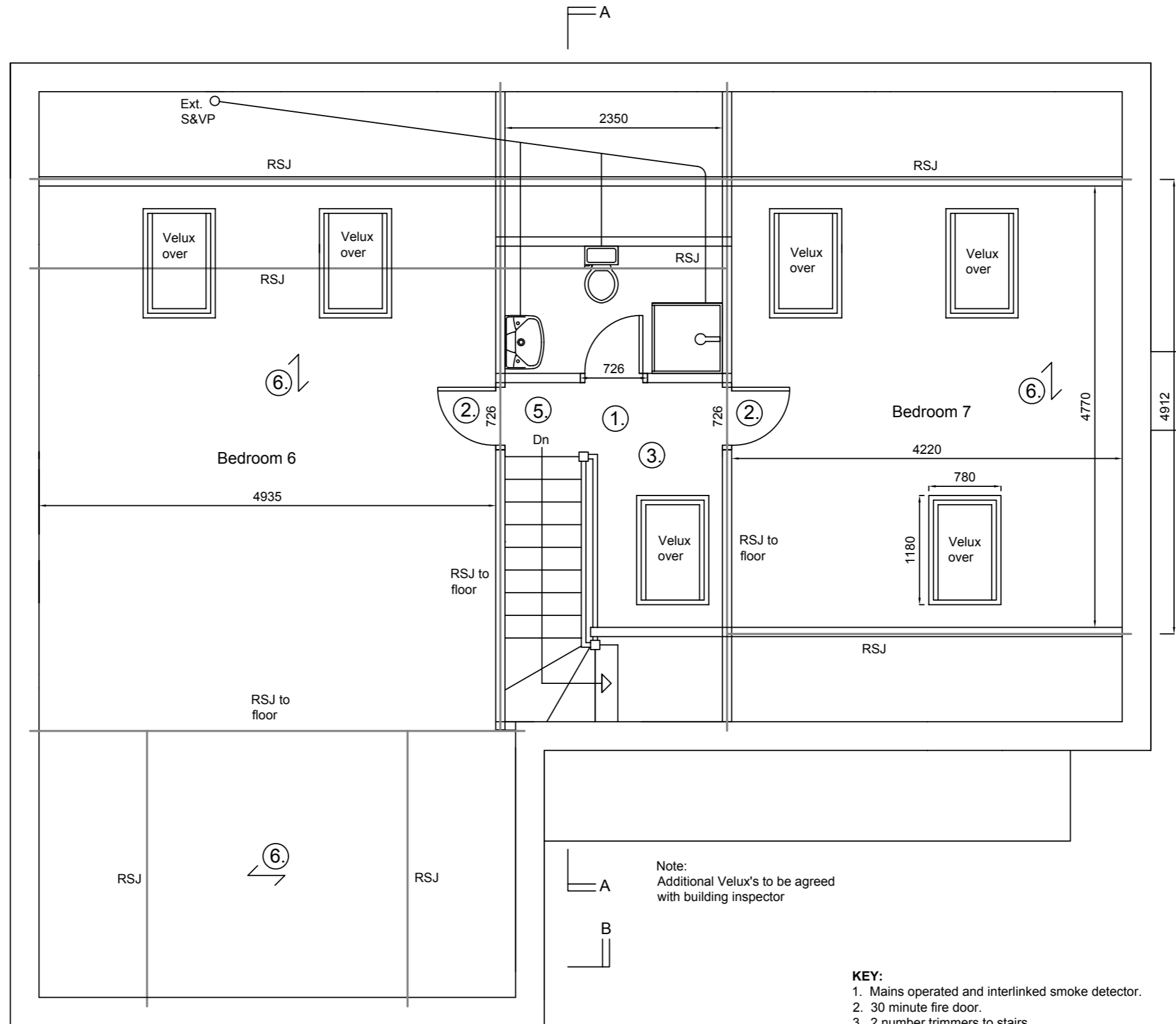
All decorative finishes to be agreed with builder for pricing purposes.

Include for generally making good to all surfaces inside and out; including decorative finishes.

ELECTRICS:
Design, supply and install new electric layout to additional areas. Position of switches, sockets and light fittings to Part M Diagram 29 of building regulations. All electrical work required to meet the requirements of Part P (electrical safety) of the building regulations. This work must be designed, installed, inspected and tested by a person competent to do so. The local authority should be satisfied that Part P of the building regulations has been met and the installer may be required to submit a installation certificate to BS 7671. Provide low energy light fittings to 25% of new. Supply and install mains operated, self maintained, interconnected smoke detection; 1 no. per storey to BS 5839 Part 6. Provide mechanical extractor fan to bathroom (15 litres / sec) ducted directly to external air.

HEATING:
Existing boiler / heating system to be assessed for suitability and condition for additional radiators. Existing system to be discussed with owner before commencement of works if required. Design, supply and install extension to existing system; including all new radiators, fittings and pipe work. Provide thermostatic radiator valves to all new radiators. All work to be carried out by a CORGI approved gas installer.

PLUMBING:
Bathroom to have 100mm dia waste. Basin to have 32mm dia. waste and 75mm deep seal anti-vac trap. Shower / bath to have 38mm diameter outlet. All to be connected to existing internal soil stack. All traps and seals to appropriate British Standards. Fittings to bathroom to clients own choice of style and design.



SECOND FLOOR PLAN

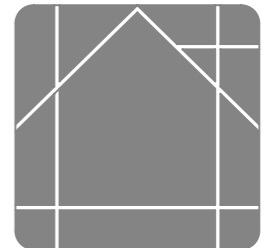
Note:
Additional Velux's to be agreed with building inspector

- KEY:**
1. Mains operated and interlinked smoke detector.
 2. 30 minute fire door.
 3. 2 number trimmers to stairs.
 4. 100 x 50mm load bearing studding at 400mm centres.
 5. Clear landing at head and foot of stairs.
 6. 220 x 75mm C16 floor joists at 400mm centres.

NOTE:
PLEASE DO NOT SCALE FROM THIS DRG.

NOTE:
CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT

NOTE:
Materials to match existing. These notes do not comprise a full specification. They are for general guidance only and their primary function is to assist local authority officers in determining Building Regulation Compliance. All dimensions must be checked on site prior to works starting. Do not scale. All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements. All materials must comply with current British Standards in situations used.



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EXTENT OF PROJECT:
PROPOSED LOFT CONVERSION FORMING TWO BEDROOMS & BATHROOM

CLIENT DETAILS
JOHN STAINTON
29 WELLFIELD LANE
BURLEY IN WHARFEDALE
ILKLEY
LS29 7SX

DRAWING TITLE:
PROPOSED PLANS

PAPER SIZE	SCALE	DATE	REV
A3	1:50	10/09	