

ROOF:

100 x 47mm C16 rafters at 400mm centres. (max. span 2190mm)
Provide lateral restraint straps at 2 metre centres.
97 x 47mm C16 ceiling ties at 400mm centres. (max. span 1840mm)
Provide lateral restraint straps at 2 metre centres.
150 x 35mm ridge board.
Provide 100 x 50mm wall plates, with holding down straps. (30 x 5mm mild steel straps at 900mm centres). Insulate roof with two layers of 150mm Rockwool insulation to the roof void; both layers laid at 90 degrees to each other. Maintain U value 0.16 W/m² K.
Provide 100mm Kingspan K7 Pitched Roof Board to sloping soffit; 50mm between rafter / 50mm cross battened under with 50mm ventilation over; to provide U value 0.20 W/m² K. Eaves ventilation minimum 25mm.
Roof tiles to match existing, on 38 x 25mm battens, on Tyvec breathable roofing membrane to B.S 747. Fascias and soffits to match existing.

WALLS:

Provide Celcon Foundation 7 Blocks below ground level; with a compressive strength of 7.3 N mm².
Provide stone work to outer skin to match existing in colour, 100mm cavity and Celcon Aircrete Standard 100mm block work inner leaf.
Cavity to have 50mm thick Kingspan Thermawall TW50 Zero ODP insulation board fixed to inner leaf to give a U value of 0.3 W/m² K. Vertical twist type wall ties to be used at 750mm horizontal x 450mm vertical spacings; reduced to 225mm to reveals. Provide DPC's to walls 150mm above external ground level. Cavities to be continuous and closed at reveals with insulated cavity closers. All work to comply with Part A of building regulations.

FLOOR:

Over site below floor to consist of 100mm clean hardcore; with 100mm concrete finish, level with external ground level. 97 x 47mm C16 floor joists at 400mm centres. (max. span 1670mm)
Insulate floor with 120mm Celotex insulation (or similar) fixed between joists to achieve a U value of 0.22 W/m² K. Floor to be vented by 225 x 75mm airbricks at 1200mm centres. (Provide 2000 gauge Visqueen DPM to act as radon protector). Maintain 150mm air gap to underside of joists. Floor to be tongue and groove chipboard cover.

FOUNDATIONS:

Excavations taken down to a suitable bearing strata to satisfaction of local authority building inspector. (minimum 750mm)
Concrete strip foundation minimum 600mm wide and 225mm thick.
Foundations to be taken below any drains and 150 x 100mm concrete lintels to be provided where building over.

ELECTRICS:

Design, supply and install new electric layout to additional areas. Positions of switches, sockets and light fittings to Part M Diagram 29 of building regulations. All electrical work required to meet the requirements of Part P (electrical safety) of the building regulations.
This work must be designed, installed, inspected and tested by a person competent to do so.
The local authority should be satisfied that Part P of the building regulations has been met and the installer may be required to submit a installation certificate BS7671.

HEATING:

Existing system to be discussed with owner before commencement of works if required.
Design, supply and install extension to existing system; including all radiators and fittings.
Provide thermostatic radiator valves to all new radiators.
All work to be carried out by a CORGI approved installer.
All work to be carried out to Part J of Building Regulations.

DRAINAGE:

Exact lines of existing drains to be determined on site prior to the commencement of any works.
Location of drains and existing inspection chambers to be determined on site by appointed building contractor.
New rodable RWG's as shown on plan; connected to existing surface water drain.
All new underground drains to be 100mm PVC pipes laid to minimum 1: 40 falls; with gravel bed and surround. (any drains under structure to be encased in concrete).
Location of existing drains to be exposed on site and discussed with building inspector. Levels to be determined on site by builder. Provide 100mm PVC gutters and 75mm fall pipes to match existing; discharging to new rodable RWG's.

DOORS:

New internal door to clients own choice of style and design. Utilise existing front door to new porch.

WINDOWS:

As per plan. Provide white UPVC framed windows; with 16mm argon filled air gap and a 'soft' low - emissive coating; double glazed units. 8000mm sq. trickle vents for background ventilation.
All glazing to be Pilkington 'K' glass to Part N of the Building Regulations. Maintain U value of 1.8 W/m² K. Use Catnic, I.G or similar approved lintels to openings.

All glazing to windows less than 800mm from internal floor level to be toughened safety glass.

OPENINGS:

Lintels over window and door openings to be Catnics, I.G or similar approved; fitted in accordance with manufacturers specifications.

NOTE:
PLEASE DO NOT SCALE FROM THIS DRG.

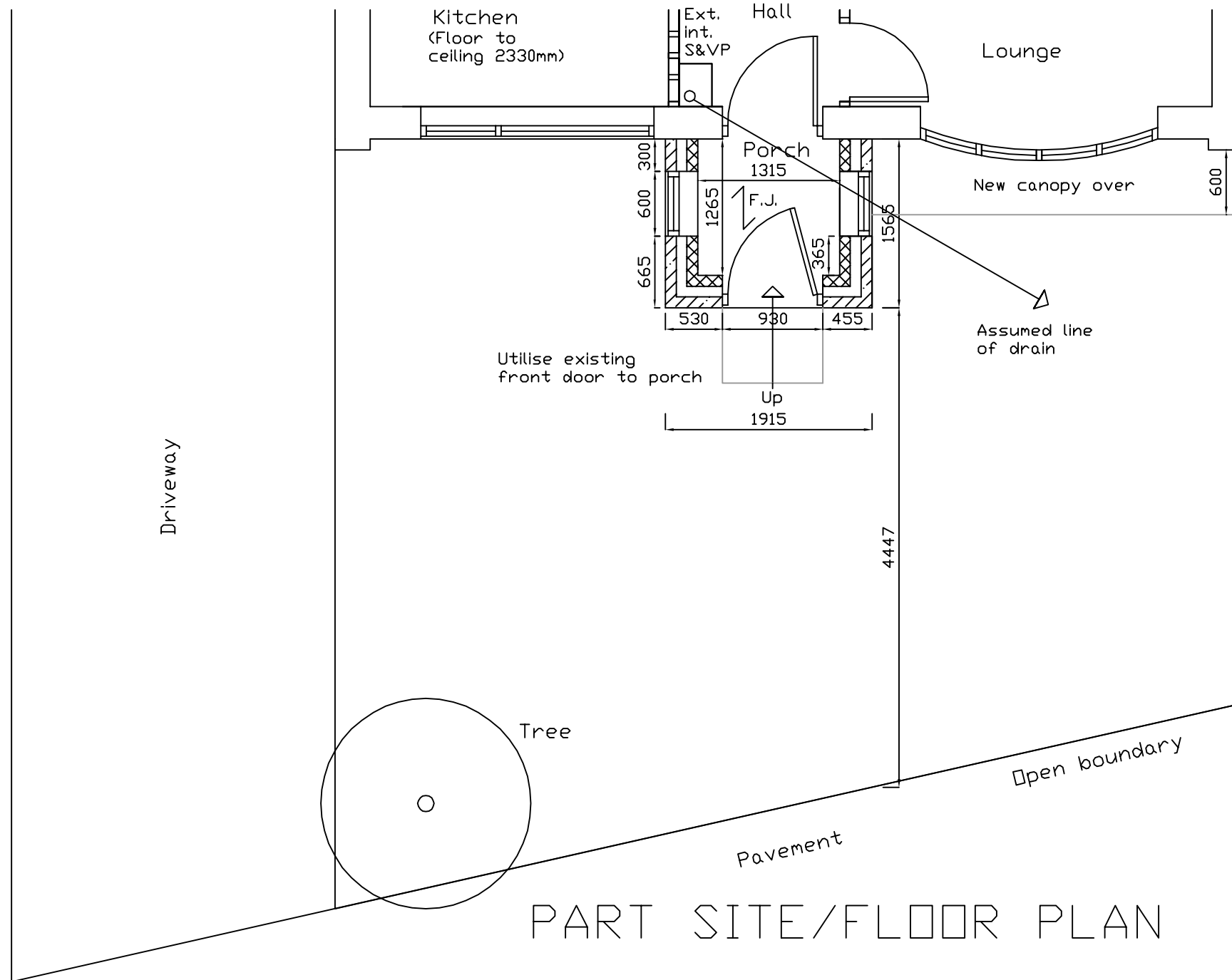
NOTE:
CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT

NOTE:
Materials to match existing.
These notes do not comprise a full specification. They are for general guidance only and their primary function is to assist local authority officers in determining Building Regulation Compliance. All dimensions must be checked on site prior to works starting. Do not scale.
All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements. All materials must comply with current British Standards in situations used.

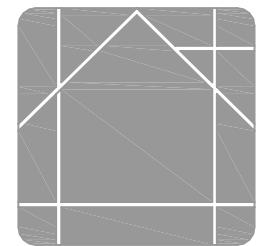
FINISHES:
12.5mm plasterboard and skim finish to walls.
12.5mm plasterboard and skim finish to ceilings.
Floors to be tongue and groove chipboard.
Skirtings and architraves to match existing.
Fascias and soffits to match existing.

All decorative finishes to be agreed with owner for pricing purposes.

Include generally for making good all surfaces inside and out including decorative finishes.



Open boundary



MAS DESIGN
Consultants Ltd

info@masdesignconsultants.com
T 01943 878398

22 Granville Terrace, Guiseley, Leeds, LS20 9DY

EXTENT OF PROJECT:
PROPOSED PORCH TO
FRONT ELEVATION

CLIENT DETAILS
PAUL DWYER
48 WHITLEY CROFT ROAD
OTLEY
LEEDS

DRAWING TITLE:
PROPOSED PLANS

PAPER SIZE	SCALE	DATE	REV
A3	1:50	12/12/08	