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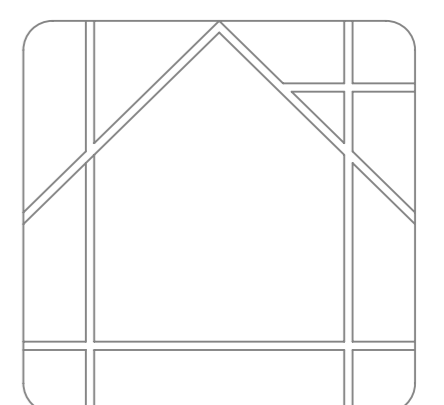
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Plumbing:
All new fittings to WC / bathroom / en suites to be to owners choice.
Provide internal 100mm diameter soil & vent pipe with branch pipes as required to B.S. 5414. SVP to extend a min 900mm above any ventilation opening within 3m and fitted with bird proof cage. 100mm diameter stub stacks with Durgo valves to ground floor WC's.
Provide plumbing and connect to soil stacks, low level suites via 100mm diameter pvc pipes, bath / showers via 38mm diameter pvc pipes with anti-vacuum traps and wash basins via 32mm diameter pvc pipes and anti-vacuum traps. Ground floor wc and basin to connect to 100mm diameter SVP fitted with air admittance valve terminating at least 150mm above whb level. All SVPS to have rodable access point at base. Sinks to have 42mm diameter waste.
All traps and seals to appropriate British Standards.

Rev.E Updated to suit Planning Conditions. 13/07/10
Rev.D Updated to suit Planning Conditions. 06/04/10
Rev.C Updated to Building regulations. 04/01/10
Rev.B Ammendments as requested by planning officer. 02/11/09
Rev.A Ammendments as requested by planning officer. 02/10/09



MAS DESIGN
Consultants Ltd.
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T 01943 878398
22 Granville Terrace, Guiseley, Leeds, LS20 9DY.

EXTENT OF PROJECT:
PLANS AND APPLICATION FOR THE DEMOLITION OF OUTBUILDINGS AND PROPOSED CHANGE OF USE OF WORKSHOPS INTO 1 No. THREE AND 1 No. TWO BEDROOM DWELLINGS WITH ASSOCIATED PARKING @ THE BOAT BUILDING, COURTHOUSE ST., OTLEY, LEEDS, WEST YORKSHIRE.

CLIENT DETAILS:
ANTHONY MIDDLEMISS.
3 MARKET STREET,
OTLEY, LEEDS,
WEST YORKSHIRE.
LS21 3AF.

DRAWING TITLE:
PROPOSED ELEVATIONS SHEET 1 OF 2.

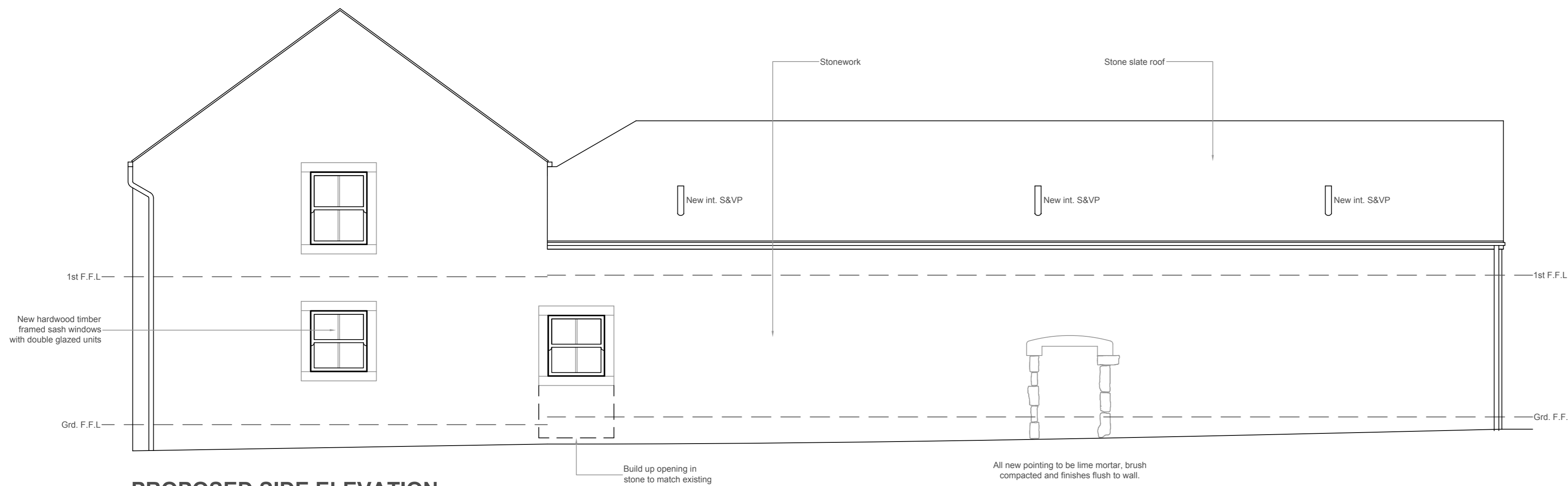
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Heating:
Provide new gas supply to dwelling;
All work to be carried out by service provider and in conjunction with appointed building contractor. Provide new independent heating and hot water system to include gas fired condensing boiler and all ventilation requirements; serving radiators controllable in each room with thermostatic radiator valves and fully pumped with bypass programmer. All work to be carried out by a registered CORGI operator and designed to give heat in accordance with the latest edition of the Building Regulations and Corgi requirements.

Contractor to provide full details of any gas fires or open fire burners to living rooms for Building Inspectors approval before works commence with 125mm thick full hearth details and clearances to suit manufacturers recommendations all to comply with App. Doc Parts B3 J1 J2 J3 and to be complete with Class 1 flue liners to manufacturers recommendations.

All work to comply with Part J of the Building Regulations.

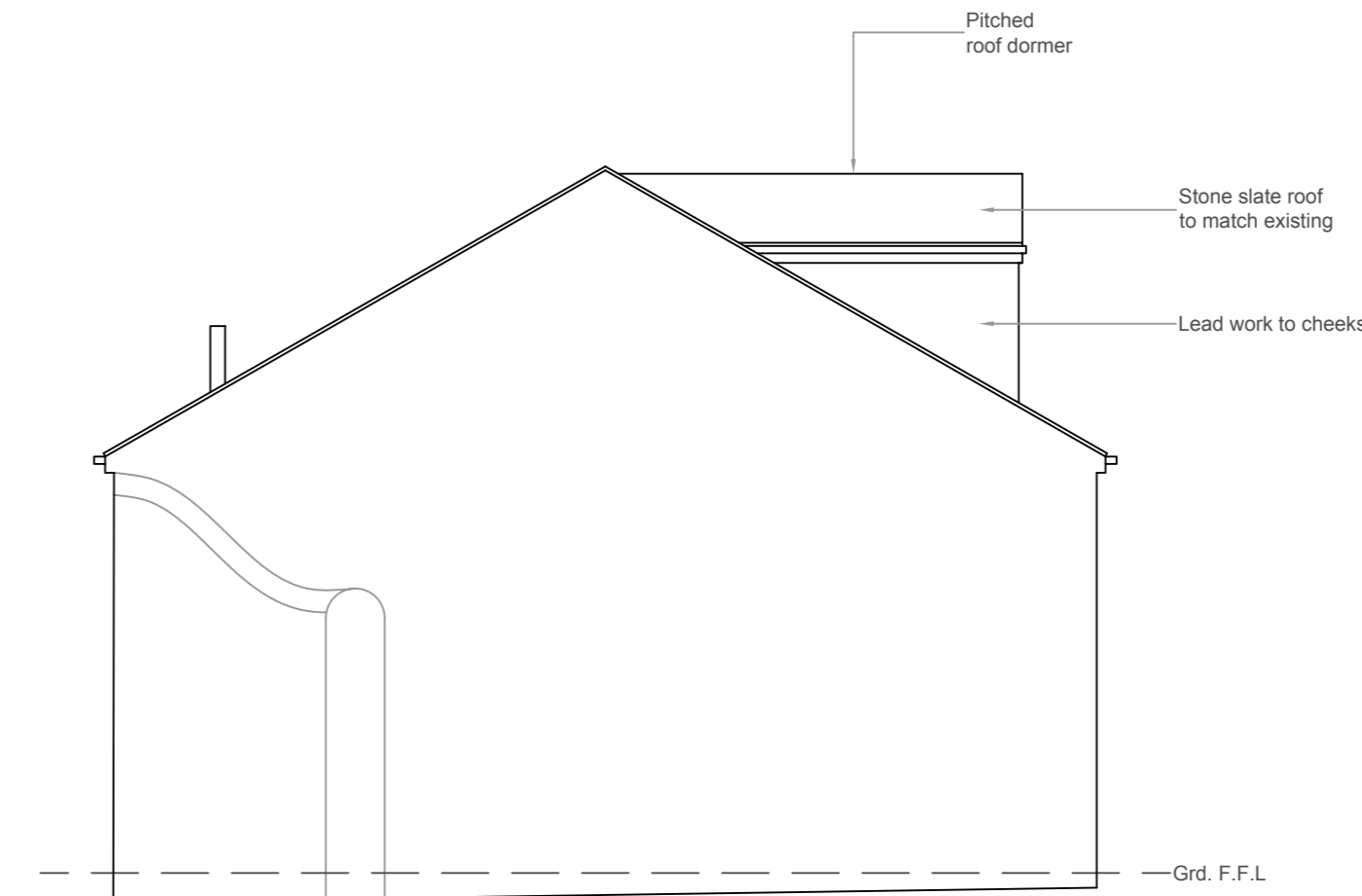
All details to be submitted by an approved CORGI contractor; Including all certificates for Building Inspectors approval.



PROPOSED SIDE ELEVATION



PROPOSED PART FRONT ELEVATION



PROPOSED PART FRONT ELEVATION



PROPOSED SIDE ELEVATION

Electrics:
Contractor to carry out own survey of existing electrical installation and layout. Provide new individual supply to each dwelling; including for new mains supply box to new external wall; all work to be carried out by service provider in conjunction with appointed building contractor. Client to liaise with current service provider.

Design, supply and install full electrical layout to specification carried out by electrical engineer. Positions to switches, sockets and light fittings to Part M Diagram 29 of building regulations. All electrical work required to meet the requirements of Part P (electrical safety) of the building regulations. This work must be designed, installed, inspected and tested by a person competent to do so. The local authority should be satisfied that Part P of the building regulations has been met and the installer may be required to submit an installation certificate to BS 7671.

Provide low energy light fitting to bedrooms.

Ventilation:
Kitchen: Provide extract fan in external wall capable of extracting air at a rate not less than 60 litres/seconds or incorporated within a cooker hood to achieve 30 L/seconds. Background ventilation to achieve not less than 4000 sq mm i.e. trickle ventilators in windows.

W.C + Bathroom: Provide mechanical ventilation with extract fan in external wall or at high level through ceiling ducted out to external air, capable of extracting air at a rate not less than 15 L/seconds which may be operated intermittently with a 15 minute over run.

Smoke Alarms:
Supply and install a mains operated, self maintained, smoke detection system; 1 N^o per room opening on to stairs and 1 N^o per floor level to each landing circulation area. All work to comply with BS5839 Part 1.

Supply and install heat detector to kitchen.

Upon completion the LA to be provided with a copy of an appropriate BS 7671 electrical Certificate.

Foundations:

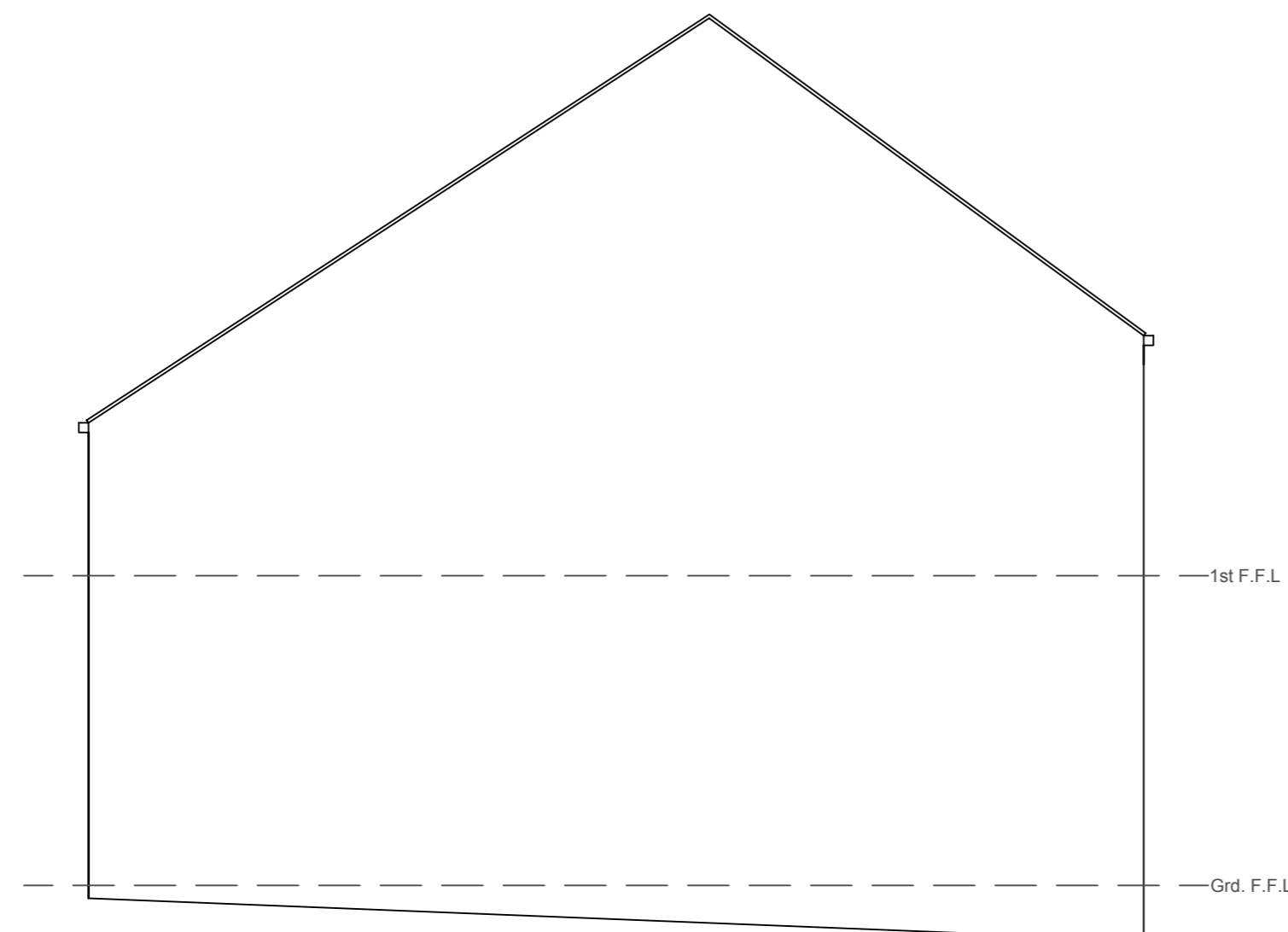
Foundations to be concrete filled strip footing to inner edge of existing outer wall structure; taken down to a suitable bearing strata / depth agreed with Local Authority Building Inspector / appointed engineer.

Walls:

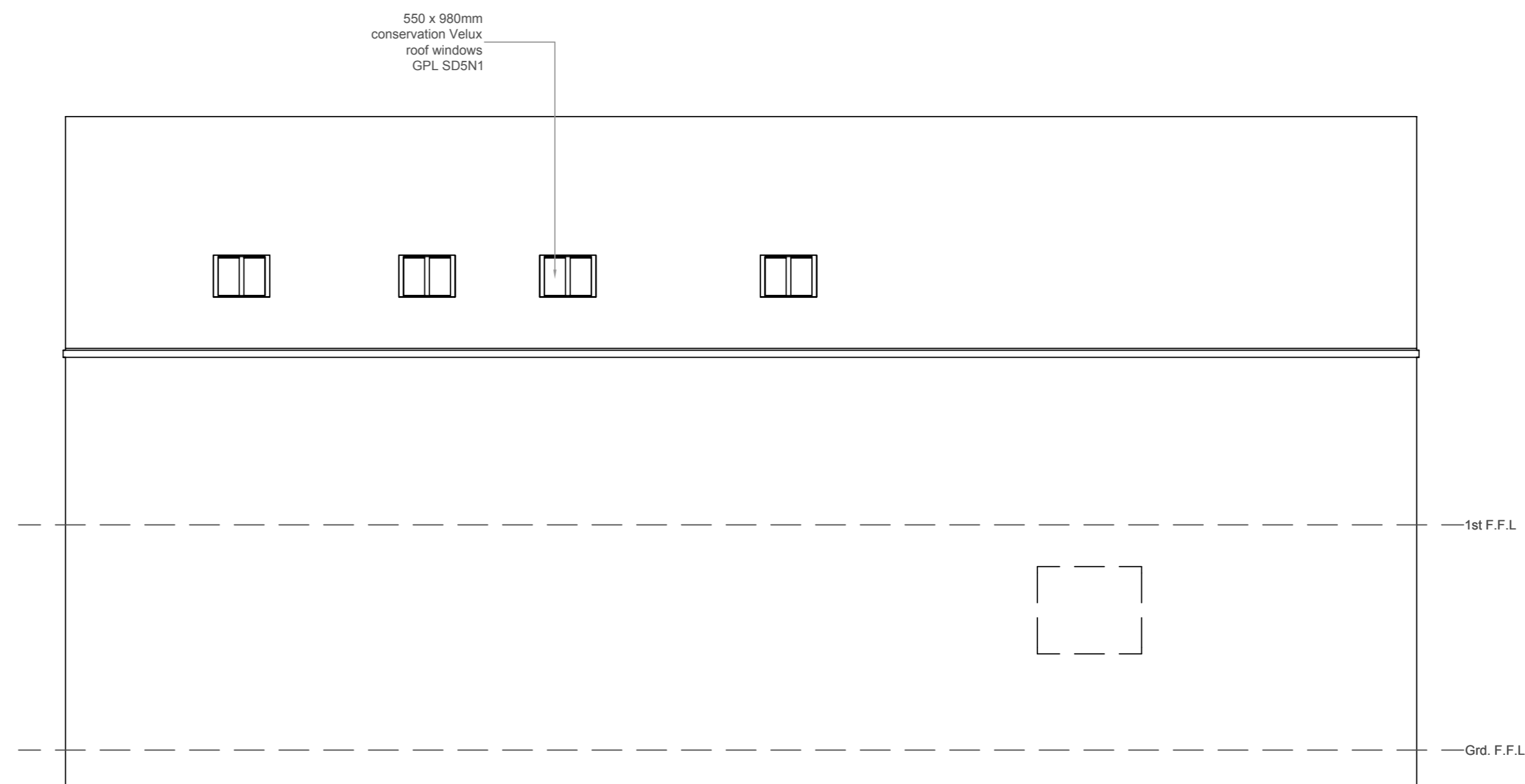
100mm cavity and Celcon Aircrete Standard 100mm blockwork inner leaf. Cavity to have 50mm thick King span therma wall TW50 Zero ODP insulation board fixed to inner leaf to give a U value of 0.3 W / m² K. Wall ties to be stainless steel vertical twist type (with retaining clips) at 450mm vertical and 750mm horizontal spacings; reduced to 225mm to reveals; all to B.S. 1243. Provide DPC to walls 150mm above external ground level. Heads, cills, and jambs to be closed with insulated masonry and DPC cloaks/ trays. DPC's to be lipped and fixed in position on external leaf with poly sulphide sealant. Cavities closed at wall plate level via a slate closer. Cavities to be insulated cavity closers. All cavity trays to have weep holes at max. 400mm centres. All work to comply with Part A of building regulations.

Internal Wall Construction:

Shall comply with B.S 2028:1364:1964 and B.S. 6073 Pat 1 to thickness indicated 100mm wide constructed from 7N blockwork; built off foundation walls and footings all as previously described and all finished with 2 coat 13mm Carlite plasterwork. 13mm plaster and skim finish both sides unless stated otherwise. Provide DPC to be lapped with DPM. Provide pre cast Naylor reinforced lintels to internal load bearing openings. (All to maintain 150mm bearing capacity).



PROPOSED SIDE ELEVATION



PROPOSED REAR ELEVATION

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Floors:

Ground floor:

To consist of 150mm. clean hardcore, with sand blinding, 2000 gauge visqueen membrane linked to D.P.C. (DPM to be of sufficient quality to provide basic radon protection in accordance with Part C of the building regulations). 80mm thick thermafloor TF70 zero ODP by Kingspan to give a U value not greater than 0.22 W / m² K. Board to be also place around slab edge to prevent thermal bridging. Concrete floor slab 150mm thick. Provide duct channels to concrete screed finish to allow for any pipe work. Finishes to clients own choice.

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Rev.D	Updated to suit Planning Conditions.	06/04/10
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Roof:

Unit 2:

Cut and form new openings for velux roof lights. Supply and fit new conservation velux roof windows (CO4 980 X 550mm) fitted to locations as shown; all to manufacturers recommendations. Double up rafters to sides.

ROOF:

Unit 1:

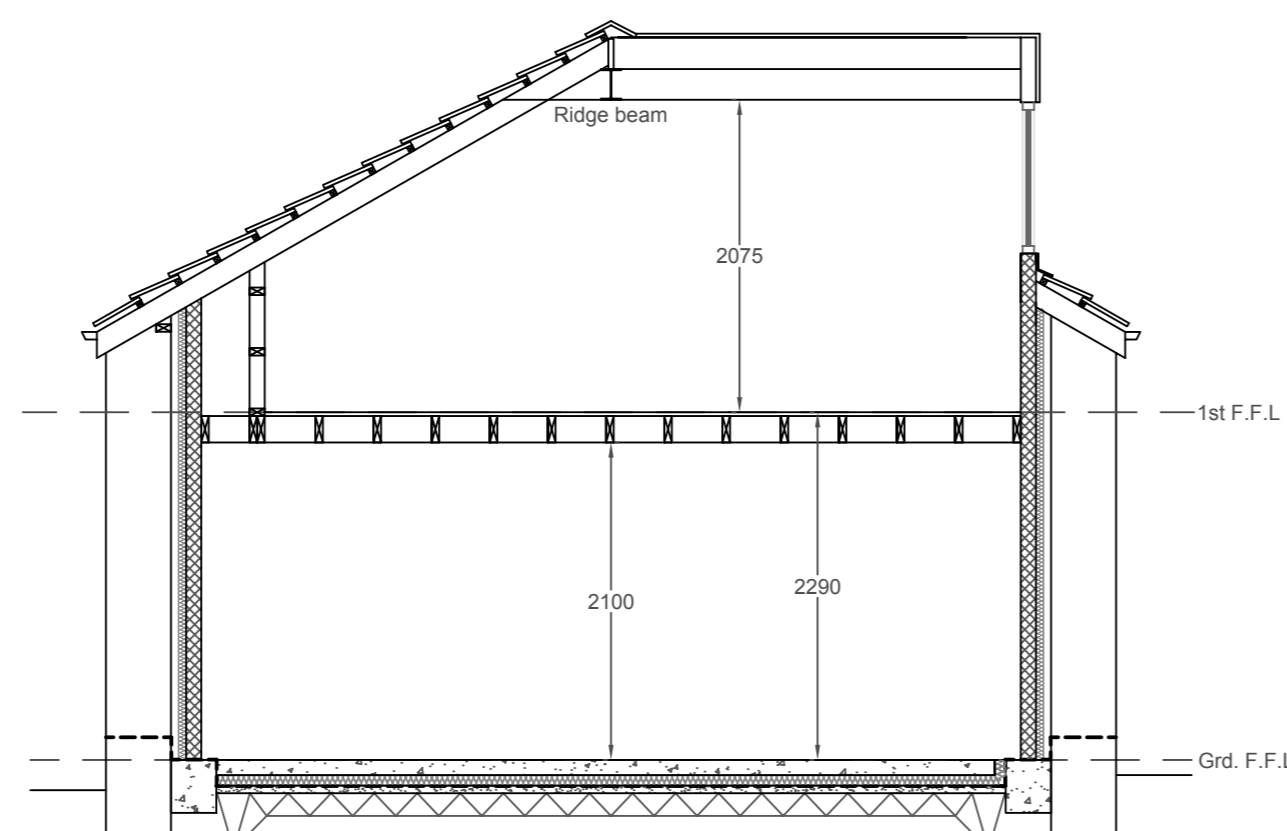
200 x 35 ridge supported of RSJ ridge beam. 150 X 47mm C16 rafters at 400mm centres; supported off new ridge, and load bearing walls. 100 x 50mm wall plates, with holding down straps. (30 x 5mm mild steel straps at 900mm centres). Provide 25mm screened vents to eaves to ensure roof void ventilation. Batten with 38 x 25mm battens on tyvec breathable roofing felt. Utilise and lay existing slate. New fascias and soffits.

Dormers:

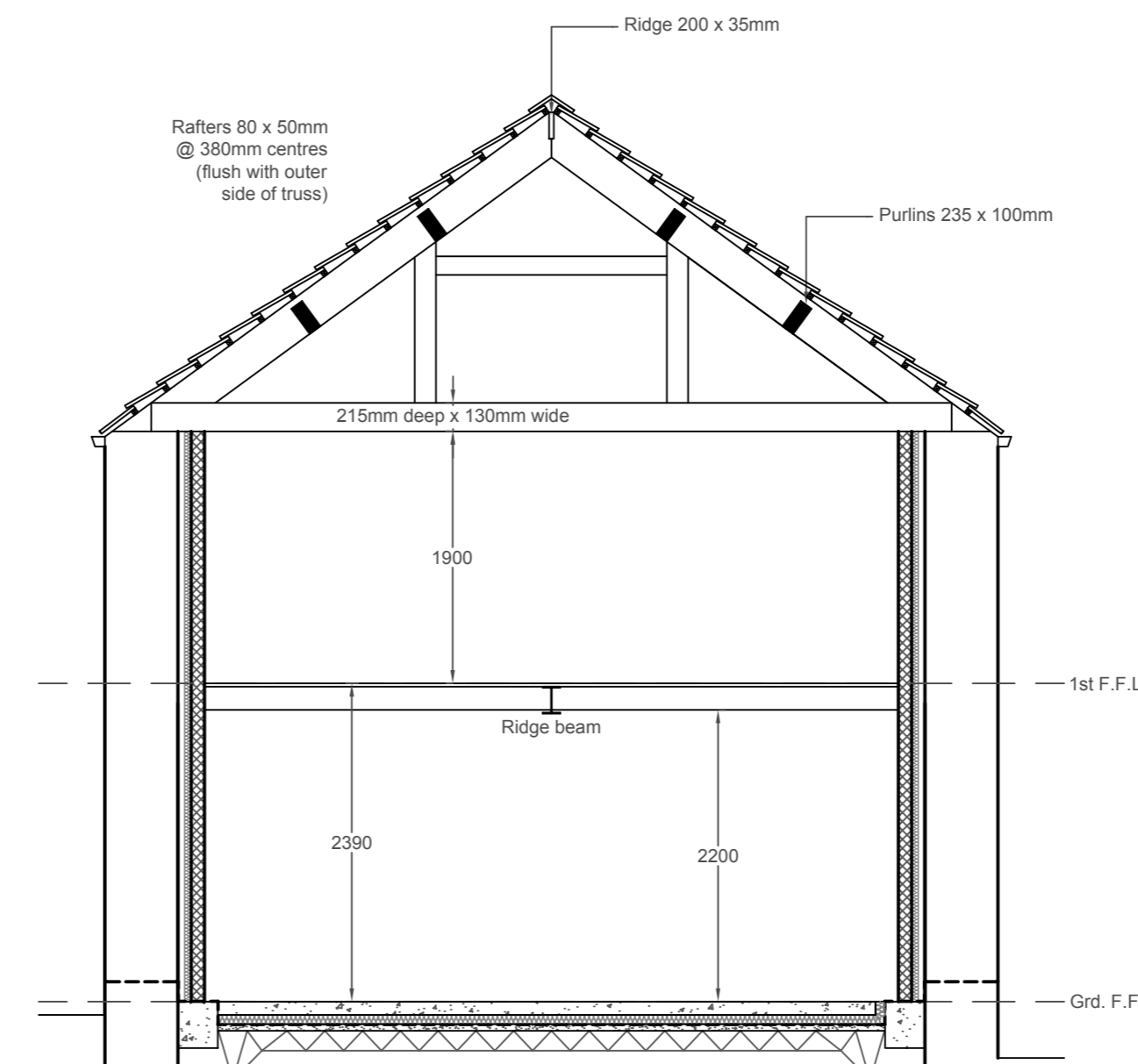
Provide 100mm x 100mm corner posts, with 150mm x 100mm header. Roof to consist of 100 x 50mm C16 rafters and ceiling joists at 400mm centres. Provide exterior grade ply board to form valleys; with code 4 leadwork and 200mm min. up stand. 200 x 100mm rakers supported off new steel RSJ purlins. Dormer cheeks to consist of 100 x 50mm studs, with 100mm kingspan K7 insulation. Clad cheeks with plyboard, breathable membrane, and finish with tiles to match main roof covering. Provide two layers of 150mm rockwool insulation to the roof void; both layers laid at 90 degrees to each other. Provide 25mm eaves vents to ensure roof void ventilation. Fibre glass cheeks to match colour of existing, on 38 x 25mm battens, on tyvec breathable roofing felt. Fascias and soffits to match existing.

Insulation:

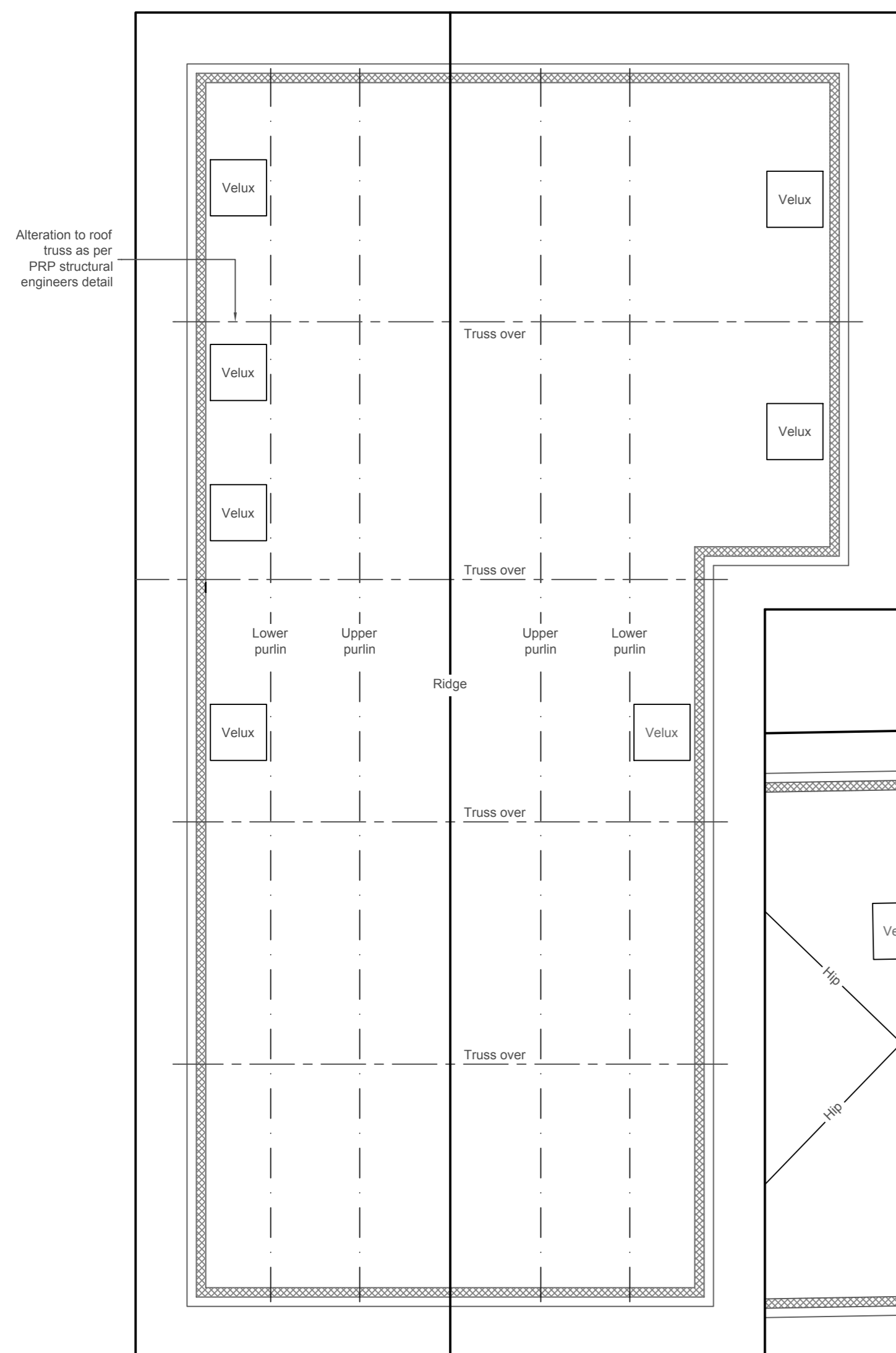
Two layers of 150mm quilt insulation to roof void layed at 90 degrees to each other to give a 0.16 U value. Where roof follows rafters insulate between with 25mm king span Kooltherm K7, with a further 100mm counter battened to underside. Maintain 50mm ventilation over. Maintain U-value 0.2.



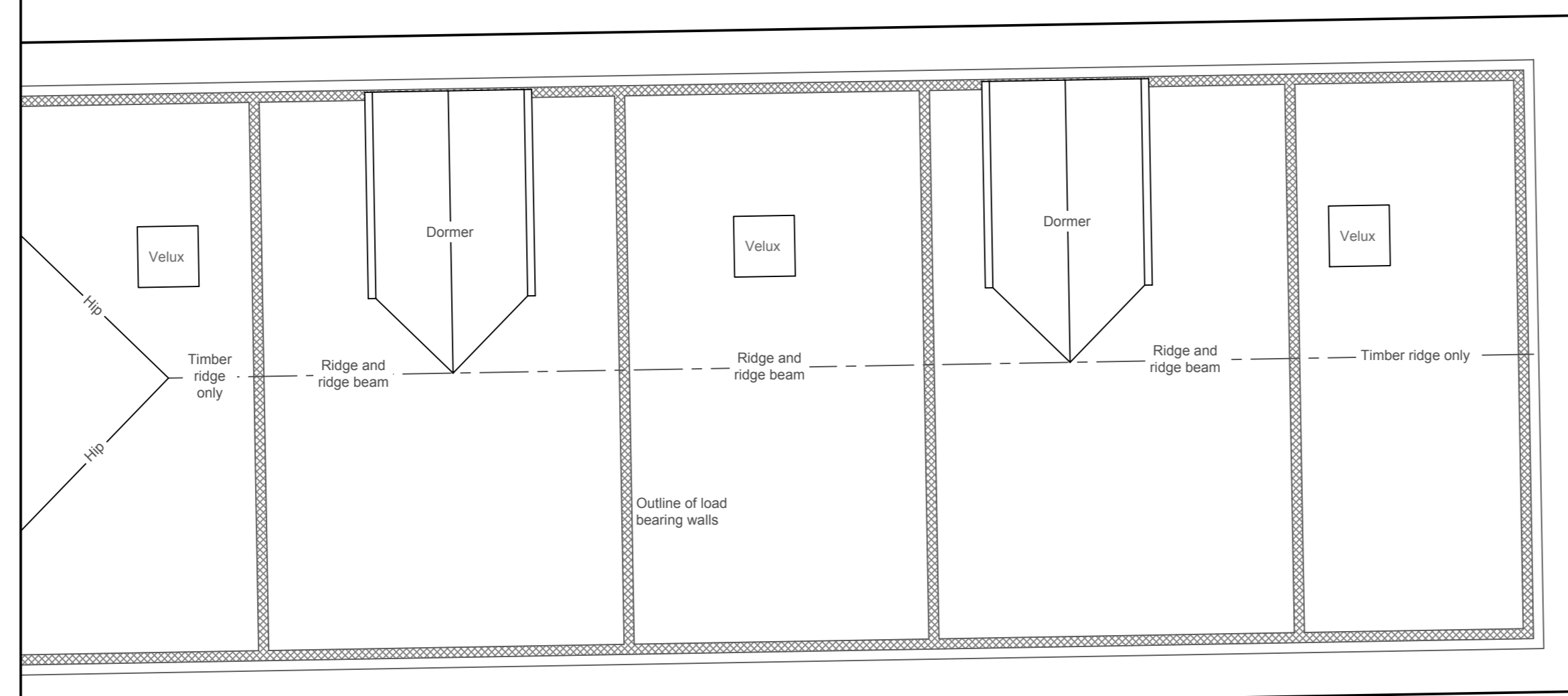
PROPOSED SECTION A-A (UNIT 1)



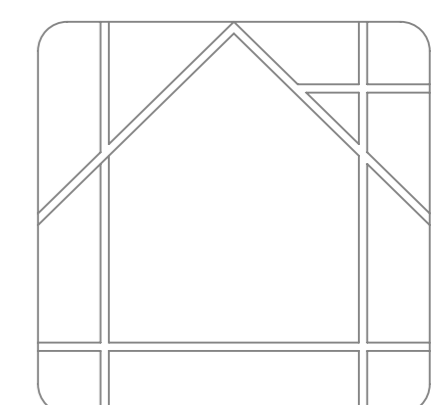
PROPOSED SECTION B-B (UNIT 2)



PROPOSED ROOF PLAN (UNIT 2)



PROPOSED ROOF PLAN (UNIT 1)



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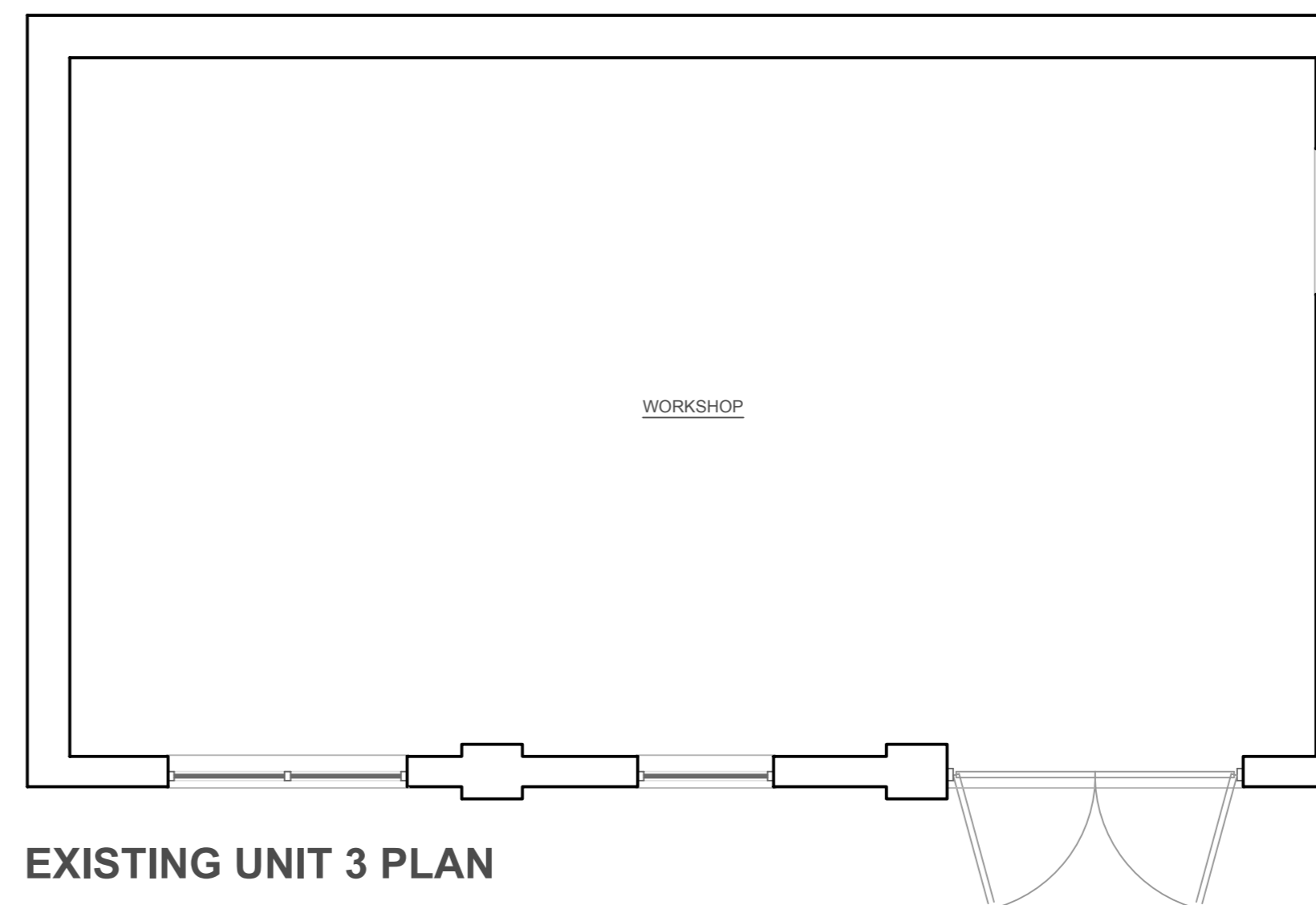
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DRAWING TITLE:
PROPOSED ELEVATIONS SHEET 2 OF 2.
PROPOSED SECTIONS AND ROOF PLAN.

PAPER SIZE	SCALE	DATE	DRAWING No.
A1	1:50	15/06/09	E-03 Rev.D

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EXISTING UNIT 3 PLAN

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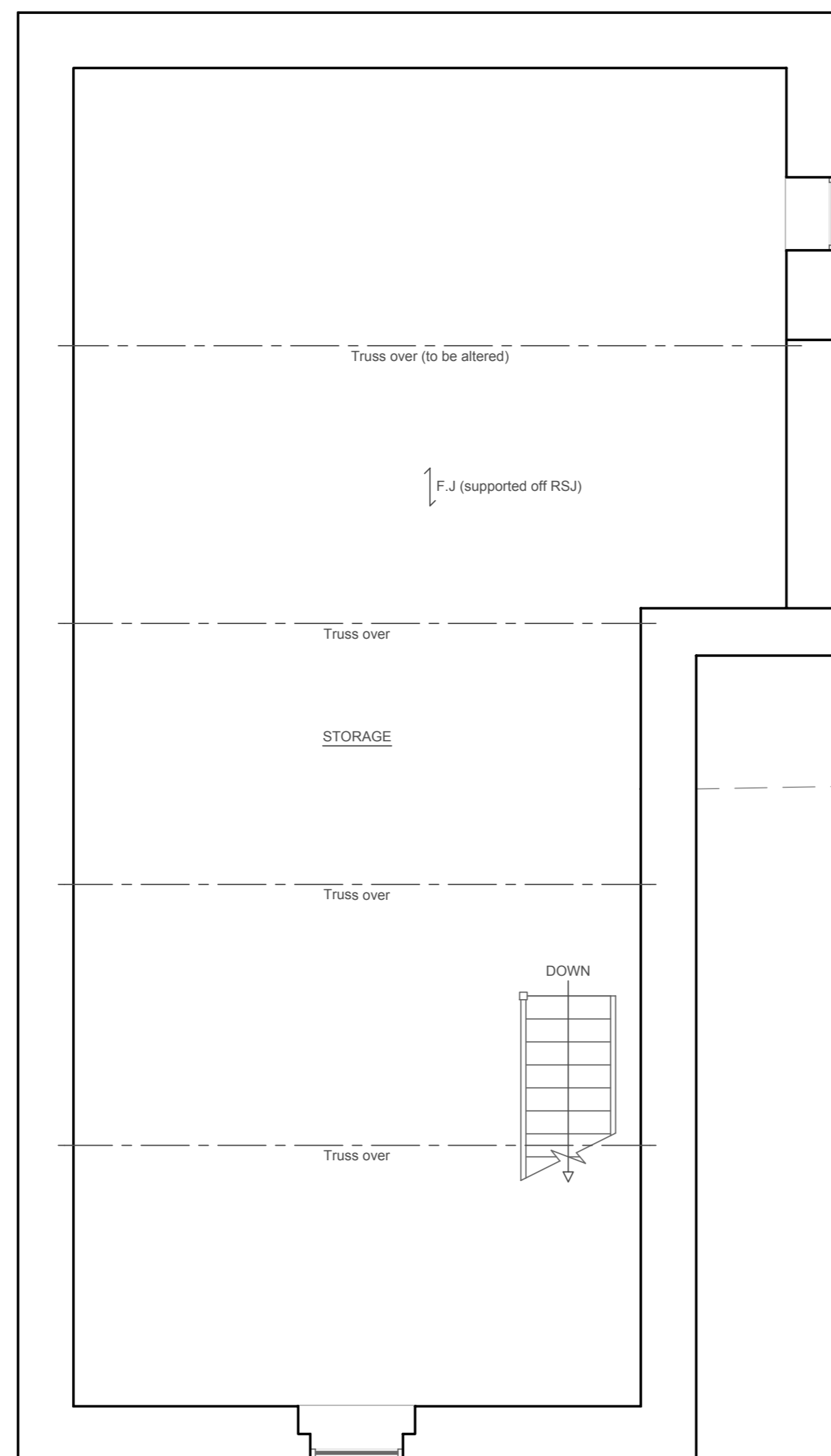
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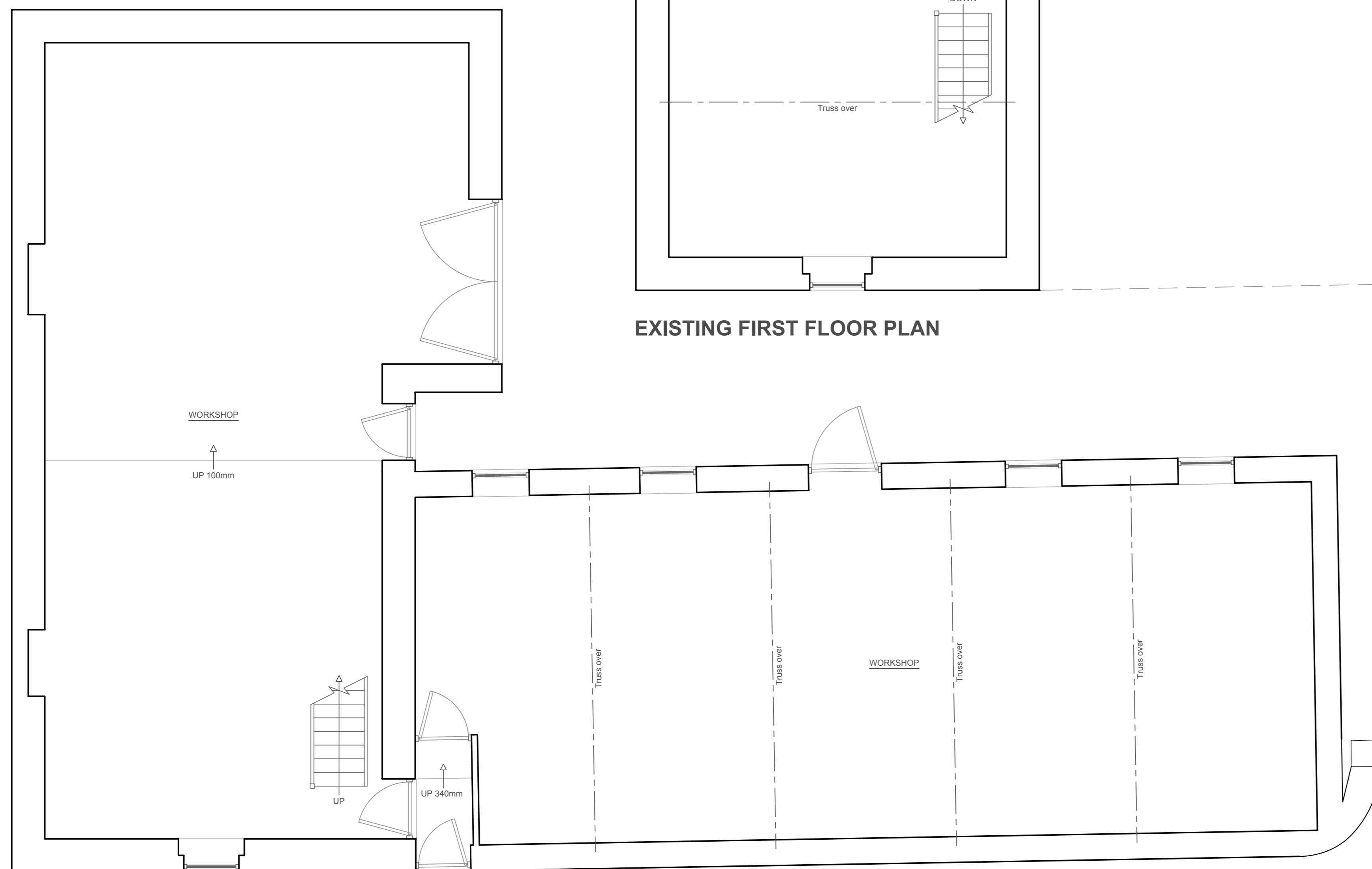
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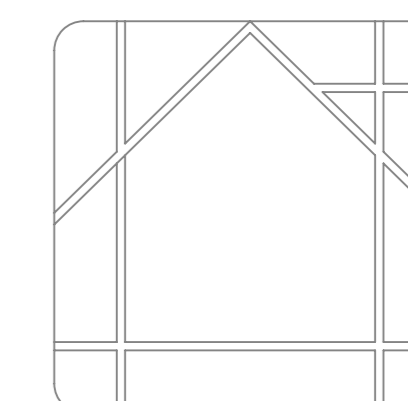


EXISTING FIRST FLOOR PLAN

- Rev.E Updated to suit Planning Conditions. 13/07/10
- Rev.D Updated to suit Planning Conditions. 06/04/10
- Rev.C Updated to Building regulations. 04/01/10
- Rev.B Ammendments as requested by planning officer. 02/11/09
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EXISTING GROUND FLOOR PLAN



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EXISTING FLOOR PLANS.

PAPER SIZE	SCALE	DATE	DRAWING No.
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Finishes:
 12.5mm plasterboard and skim finish to walls.
 12.5mm plasterboard and skim finish to ceilings.
 Floors to be tongue and groove chipboard or alternative to clients requirements.
 Skirting and architraves to clients choice.

All non load bearing internal partitions to be 75 x 50mm studwork at 400mm max. centres with 12.5mm plasterboard and skim finish. Partitions to have 75mm. mineral wool sound insulation quilt between up rights through out, density not less than 10kg/m3. All boards to be staggered and joints scrimmed and fixed in accordance with the manufactures instructions.

All joints between fixed building components to be installed to App. doc. Part L1 B Section 2 to prevent cold bridging and infiltration and to suppress air movement through the structure. All joints to be sealed with silicone sealant mastic. All holes for services to be cut with correct size hole cutter and sealed using expanded foam filler to prevent air movements.

Kitchen to clients own choice of style / specification. Contractor to liaise with owner and to appoint kitchen design representative to discuss proposed layout.

Include generally for all making good to all surfaces inside and out including decorative finishes.

Decoration:
 All decorative finishes to be agreed with owner and main contractor for pricing purposes.

First floor:
 170 x 75mm C16 floor joists at 400mm centres (max span 3730mm).
 Provide mid point strutting and lateral restraint straps. Joists to be fixed to walls via catnic hangers.
 Provide 100mm rock wool sound insulation quilt between joists and maintain 10/kg/m3 density.
 Provide tongue and groove chipboard cover or alternative to clients requirements.

Stairs:
 Trim out openings to timber upper floors for new stairs.
 Double up floor joists as stair trimmers.
 Fix new timber staircases with 12 no risers between 155mm and 220mm and goings between 245mm and 260mm; minimum width of flight to be min 800mm. Handrails fixed at 900mm measured vertically above pitch line & 1100mm above landings. 100mm newel post
 Balusters to be at max 100mm centres. Maximum pitch 42 degrees. Tapered treads to be 50mm minimum width, 2000mm clear headroom to be maintained to staircase flight.
 Staircase to be bolted to load bearing walls using M12 bolts at 300mm centres. Maintain clear landings to top (depth equal to clear width) and bottom of stairs (depth minimum 400mm).

SAP calculation:
 All SAP calculations to be carried out by contractor appointed by MAS Design Consultants Ltd. (THERMCALC. Energy Rating Services. 1 Landway, Borough Green, Kent, TN15 8RG. Tel: 01732 885760).

Full approved air pressure testing to be carried out on completion.

Party wall act:
 Party Wall Act to be served by owner or appropriate body appointed by current owner. For further clarification on the Party Wall Act contact:
 Batty France Consultancy.
 1 Cross Rosse Street, Shipley, Bradford. BD18 3SX.
 Tel: 01274 582661. Fax: 01274 531406
 www.battyfrance.co.uk

Sound tests:
 Sound test to be carried out prior to occupation by approved contractor. All works in compliance with Part E of the Building Regulations.

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Openings:
 Contractor to form new window openings as shown.
 Lintels over window and door openings to be catnic, IG or similar approved; fitted in accordance with manufacturers specifications.
 Provide pre cast reinforced lintels to internal load bearing openings.
 (All to maintain 150mm bearing capacity)

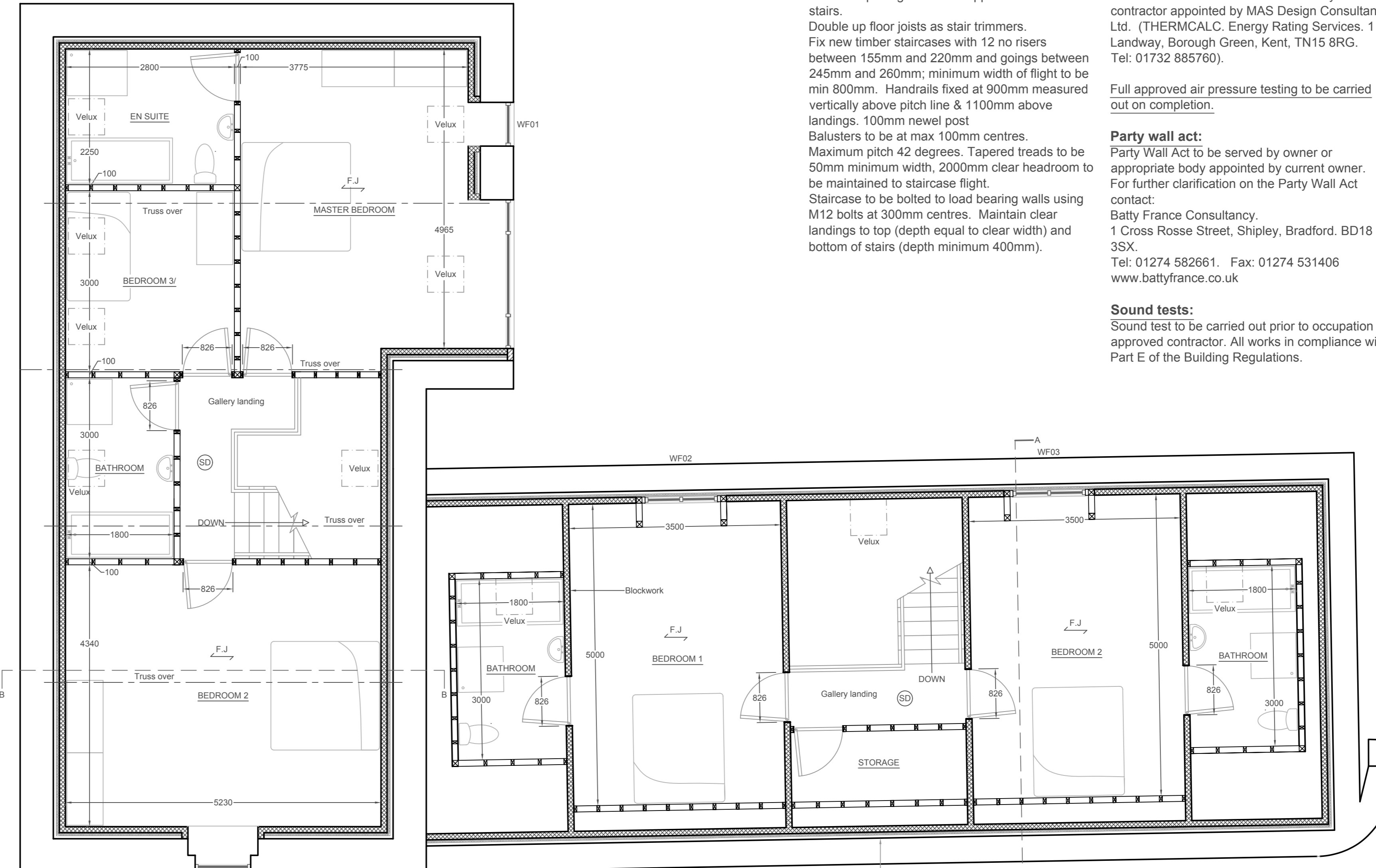
Steelwork:
 Steelwork RSJ's as shown to structural engineers calculations / design. All new steel work to sit on concrete pad stones; as per Structural engineer detail.
 (conditional approval requested for building regulation compliance).
 Maintain 150mm bearing capacity. Clad steelwork with 15mm fire line plasterboard & skim to give 30 minutes fire resistance.
 (Drawings to be read in conjunction with engineers details).

Windows:
 Cut and form new openings as shown on the enclosed plans.
 Provide hardwood timber framed windows with opening lights, to give natural light + ventilation requirements; min 1/20th floor area; with 16mm argon filled air gap and a soft low - E coating double glazed units; with 4000mm² (bathroom) / 8000mm² trickle vents for background ventilation. Maintain 750mm wide x 450mm high escape windows - equalling o/a clear opening of 0.33m² and cill height between 800 - 1100mm from finished floor level to bedrooms. Provide obscure glazing to bathroom and en suite windows. All glazing to be Pilkington 'K' glass to comply with Part N of building regulations. Maintain U value of 1.8 W/m² K.
 All glazing to windows less than 800mm from internal floor level to be toughened safety glass in accordance with BS 6206.

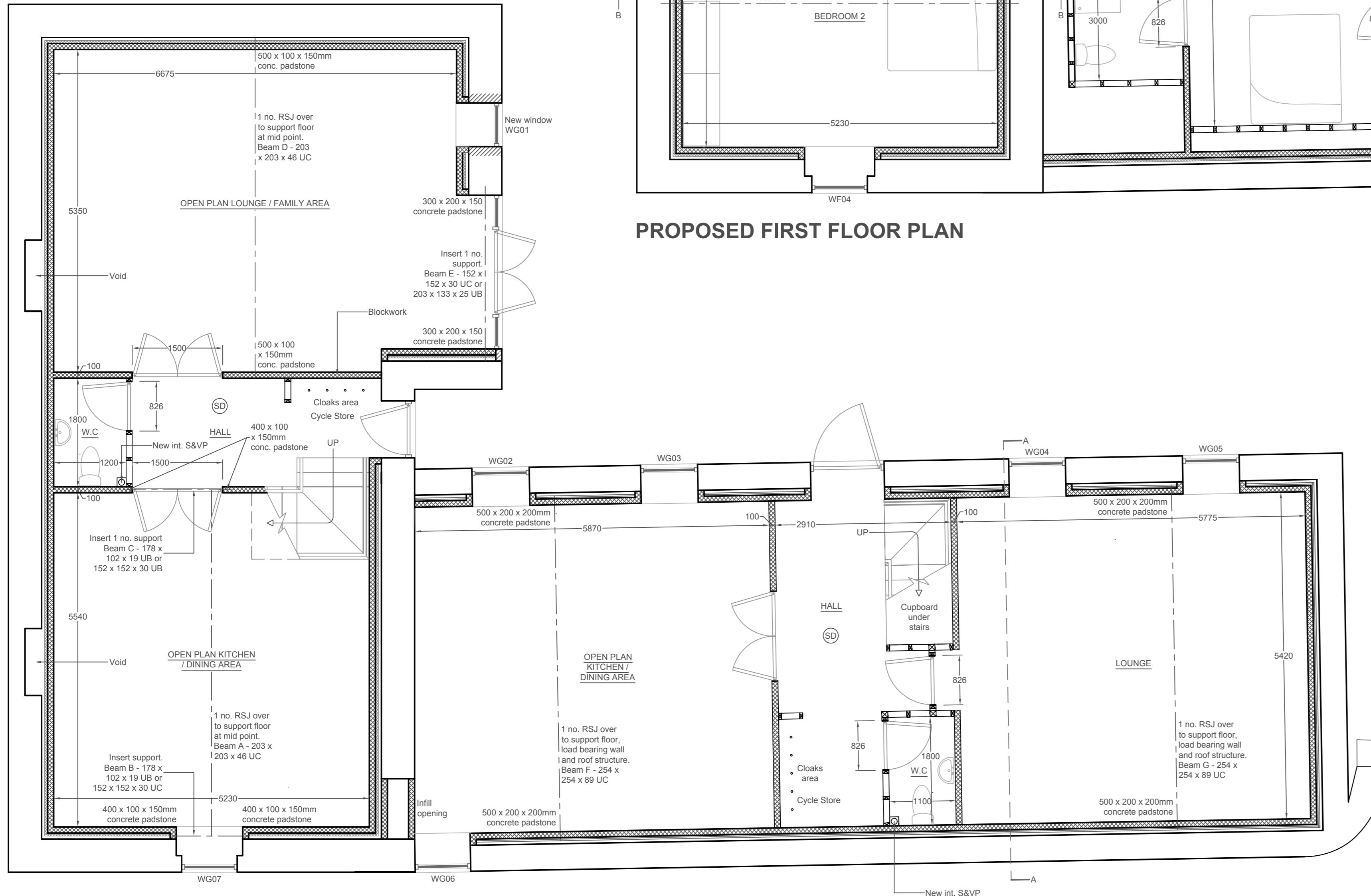
Use catnic, IG or similar approved lintels to openings. See elevations + sections for locations.

Doors:
 826mm hardwood timber doors to ground floor and first floor. Internal doors to have minimum 750mm clear openings. All doors to habitable rooms to ground and first floors be FD30 fire resistant grade to an approved certificated manufacturer.

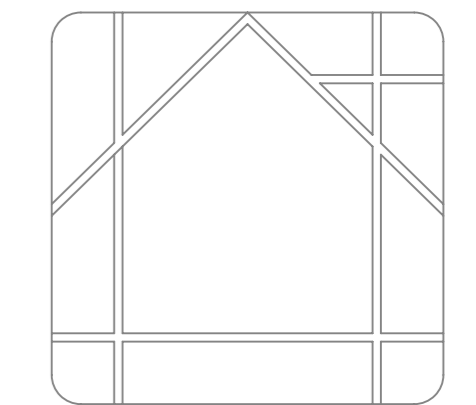
Rev.F	Updated to suit Planning Conditions.	08/09/10
Rev.E	Updated to suit Planning Conditions.	13/07/10
Rev.D	Updated to suit Planning Conditions.	06/04/10
Rev.C	Updated to Building regulations.	04/01/10
Rev.B	Amendments as requested by planning officer.	02/11/09
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PROPOSED FIRST FLOOR PLAN



PROPOSED GROUND FLOOR PLAN



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DRAWING TITLE:
VERTICAL SECTIONS THROUGH
WINDOWS.

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A1	1:20	15/06/09	S-01 Rev.D