

NOTE:
PLEASE DO NOT SCALE FROM THIS DRG.

NOTE:
CONTRACTOR TO VERIFY ALL SIZES
ON SITE BEFORE COMMENCEMENT

NOTE:
Materials to match existing.
These notes do not comprise a full specification. They are for general guidance only and their primary function is to assist local authority officers in determining Building Regulation Compliance. All dimensions must be checked on site prior to works starting. Do not scale. All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements. All materials must comply with current British Standards in situations used.

ROOF:
125 x 47mm C16 rafters at 400mm centres. (max. span 2730mm)
300 x 100mm C24 purlins at 1500mm centres. (structural calculations to be provided for purlins)
195 x 75mm C16 floor joists at 400mm centres. (max. span 4270mm)
Ridge to be 200 x 35mm. Provide lateral restraint straps at maximum 2 metre centres. Provide 100 x 50mm wall plate with holding down straps. (30 x 5mm mild steel straps at 900mm centres).
Provide two layers of 150mm quilt insulation to the roof void; both layers laid at 90 degrees to each other. Maintain 0.16 U value.
Where roof follows rafters insulate between with 75mm Kingspan Kooltherm K7, with a further 50mm counter battened to underside. Maintain 50mm ventilation over.
Maintain U-value 0.2. Roof tiles to suit 27 degree pitch, on 38 x 22mm battens.
Fascias and soffits to be UPVC, with 25mm screened fly vents.

WALLS:
Provide Celcon Foundation 7 Blocks below ground level; with a compressive strength of 7.3 N mm².
Provide stonework to outer skin, 100mm cavity and Celcon Aircrete Standard 100mm block work inner leaf. Cavity to have 50mm thick Kingspan thermawall TW50 Zero ODP insulation board fixed to inner leaf to give a U value of 0.3 W / m² K. Vertical twist type wall ties to be used at 750mm horizontal x 450mm vertical spacings; reduced to 225mm to reveals. Provide DPC's to walls 150mm above external ground level. Cavities to be continuous and closed at eaves and reveals.
All work to comply with Part A of building regulations.

FLOORS:
Ground floor:
Kitchen:
To consist of 150mm clean hardcore, with sand blinding, 2000 gauge visqueen membrane linked to D.P.C. (DPM to be of sufficient quality to provide basic radon protection in accordance with Part C of the building regulations). 80mm thick thermalfloor TF70 zero ODP by Kingspan to give a U value not greater than 0.22 W / m² K. Board to be also place around slab edge to prevent thermal bridging. Concrete floor slab 150mm thick. Provide duct channels to concrete screed finish to allow for any pipe work. Finishes to clients own choice.
Living room:
Over site below floor to consist of 150mm clean hardcore; with 150mm concrete finish, level with external ground level. 195 x 75mm C16 floor joists at 400mm centres. Insulate floor with 120mm Celotex insulation (or similar) fixed between joists to achieve a U value of 0.22 W/m² K. Floor to be vented by 225 x 75mm airbricks at 1200mm centres. (Provide 2000 gauge Visqueen DPM to act as Radon protector). Maintain 150mm air gap to underside of joists. Floor to be tongue and groove chipboard cover.

First floor:
195 x 75mm C16 floor joists at 400mm centres. (max. span 4270mm)
Provide mid point strutting and lateral restraint straps. Joists to be fixed to walls via catnic hangers. Provide 100mm Rockwool insulation between joists.
Provide tongue and groove chipboard cover or alternative to clients requirements.

FOUNDATIONS:
Contractor to allow for all necessary trial holes to determine ground conditions.
Foundations to engineers design / calculation following site visit by sub-contractor appointed by MAS Design Consultants. (conditional approval requested for plan approval. Details to be submitted prior to work starting on site).

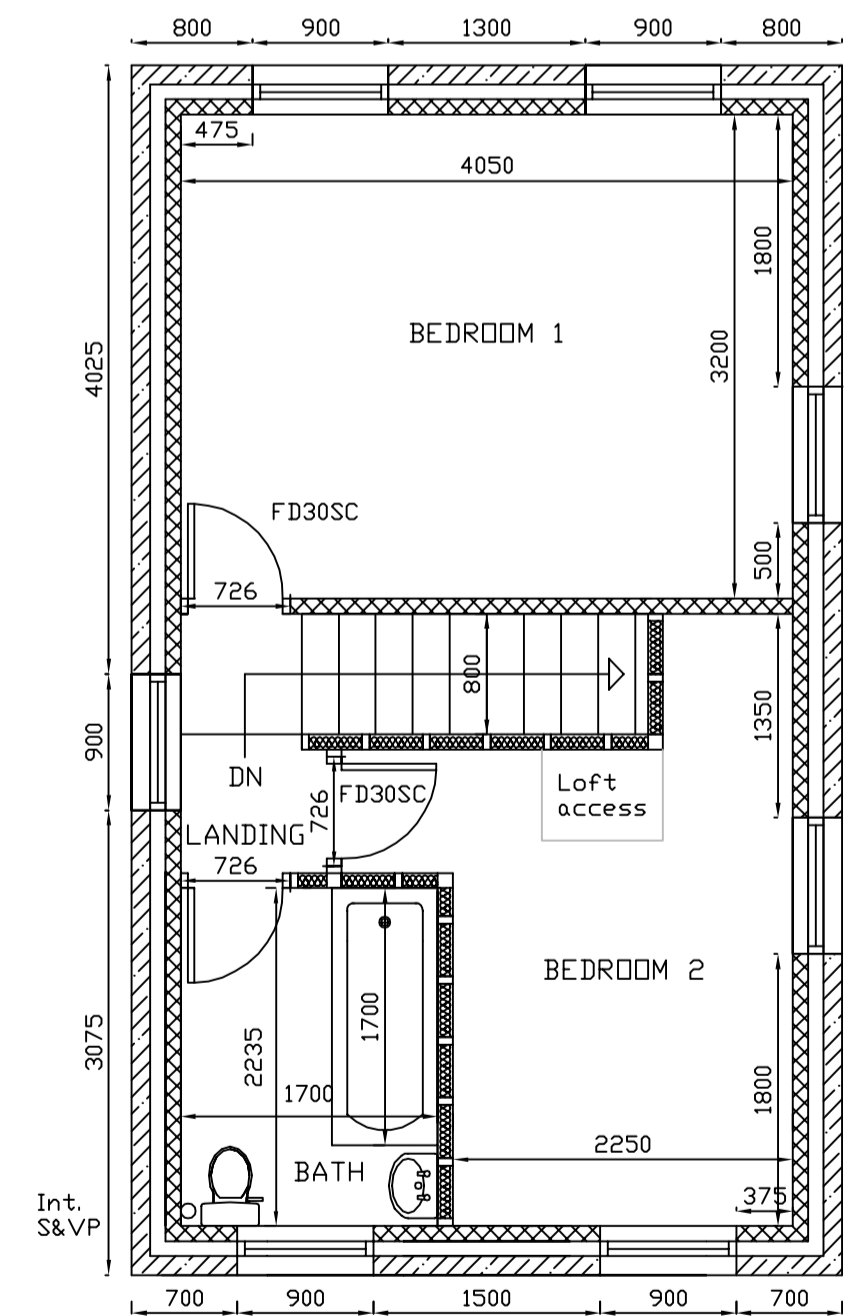
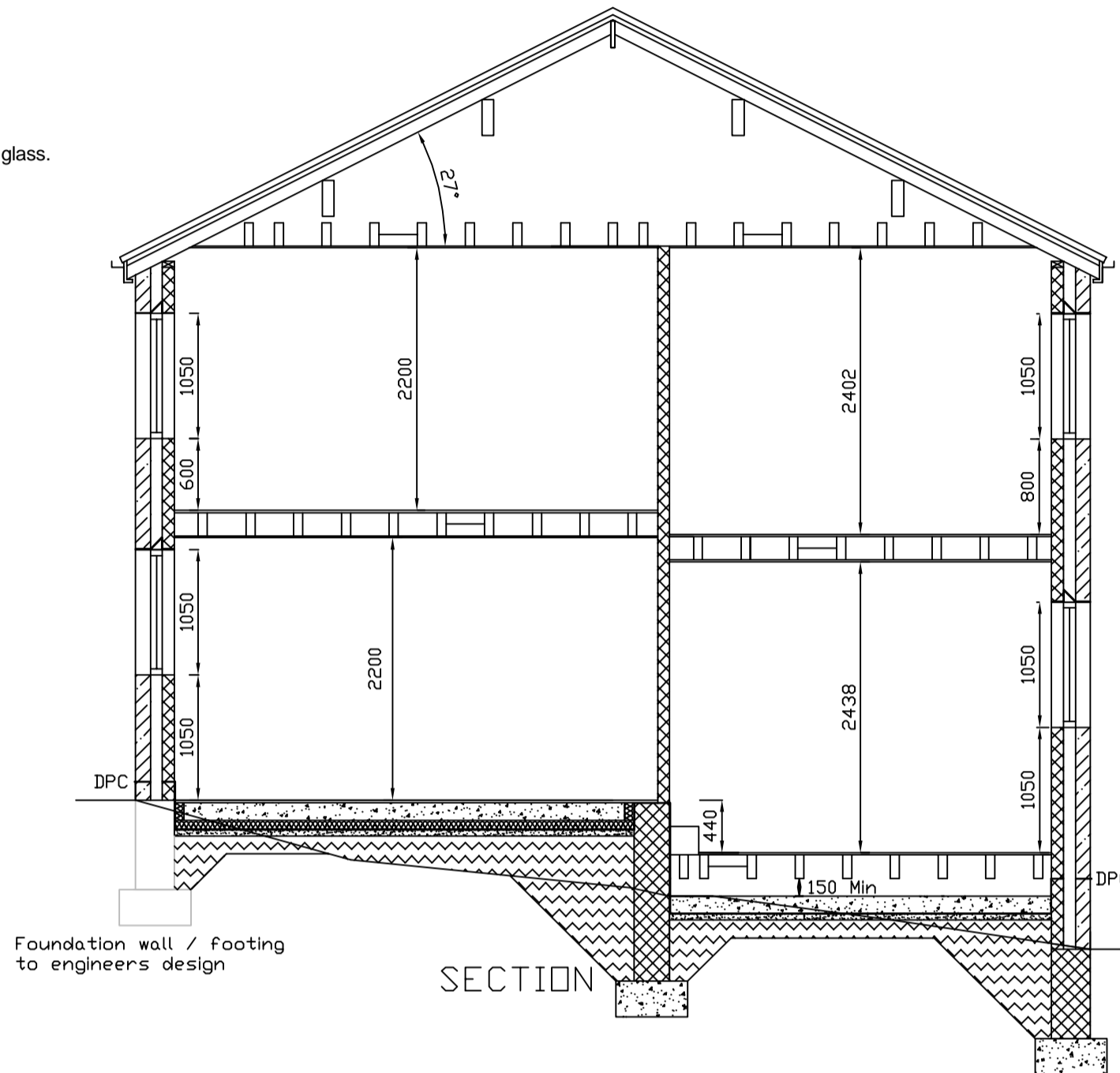
DOORS:
726 / 826mm hardwood timber doors to ground floor and first floor. Maintain 650 / 750mm clear openings.
All habitable door openings onto new stairs to ground and first floor to be 30 minute self closing fire doors.

WINDOWS:
As per plan. Provide white UPVC framed windows; with 16mm argon filled air gap and a soft low - Emissivity coating double glazed units; with 4000mm² (bathroom / kitchen) / 8000mm² trickle vents for background ventilation.
Maintain 750mm wide x 450mm high escape windows to living room, and bedrooms. Provide obscure glazing to bathroom.
All glazing to be Pilkington 'K' glass to comply with Part N of building regulations. Maintain U value of 1.8 W/m² K.
All glazing to windows less than 800mm from internal floor level to be toughened safety glass.
Use catnic, I.G or similar approved lintels to openings.

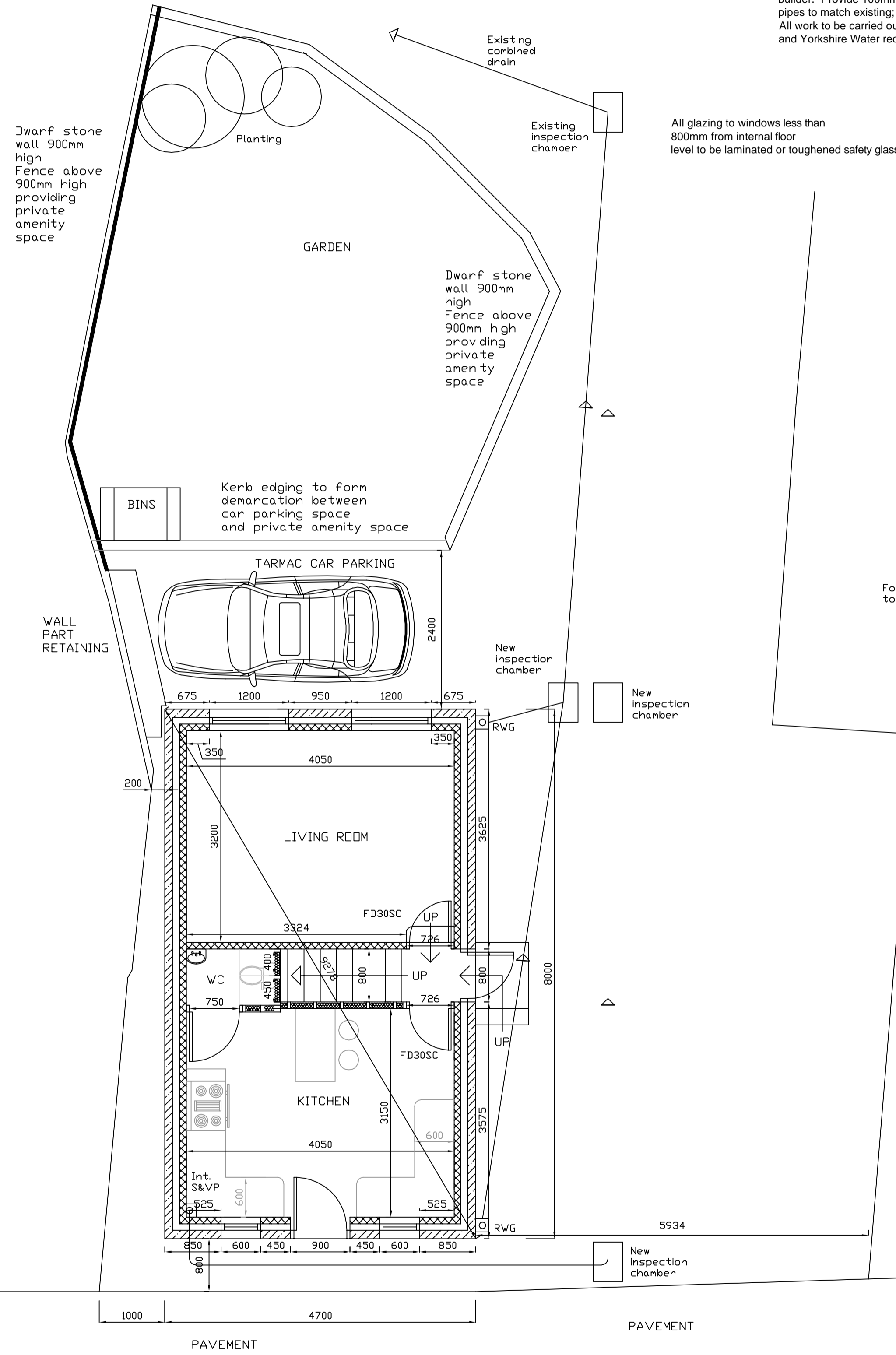
DRAINAGE:
Exact lines of existing drains to be determined on site prior to the commencement of any works.
Construct new inspection chambers in compliance with Part H of building regulations.
New rodable RWG's as shown on plan; connected to new surface water drain; provide separate drainage within site.
Provide new internal 112mm PVC soil stack (maintain bird cage to top and rodding point to base); with 100mm waste pipes to WC pans connected to new foul drain; provide separate drainage within site.
All new underground drains to be 100mm PVC pipes laid to minimum 1 : 40 falls; with gravel bed and surround
Location of existing drains to be exposed on site and discussed with building inspector. Levels to be determined on site by builder. Provide 100mm PVC gutters and 75mm fall pipes to match existing; discharging to new rodable RWG's.
All work to be carried out to Part H of building regulations and Yorkshire Water requirements.

ROOF COVERINGS TO BE AS SAMPLES TO BE APPROVED BY PLANNING OFFICER.
UPVC FRAMED DOORS AND WINDOWS
EXTERNAL WALLS IN REGULAR COURSED NATURAL STONE WORK WITH PITCHED QUARRY FACES AND ASHLAR STONE DRESSINGS AND QUAINS IN ART STONE ALL POINTED UP AND BAGGED OFF TO MATCH AN APPROVED SAMPLE PANEL.

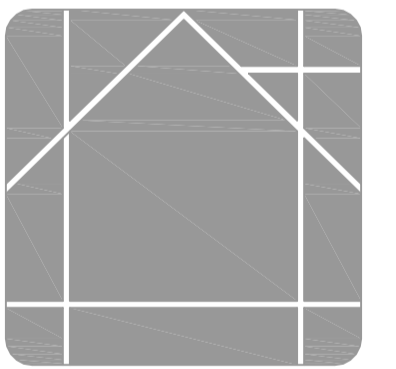
All glazing to windows less than 800mm from internal floor level to be laminated or toughened safety glass.



FIRST FLOOR PLAN



GROUND FLOOR PLAN TOWN STREET



MAS DESIGN
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EXTENT OF PROJECT:
PROPOSED NEW DWELLING
@ LAND ADJACENT 1 FARWELL FOLD,
TOWN STREET, RAWDON, LEEDS.

CLIENT DETAILS
THOMPSON HARGREAVES
DEVELOPMENTS LTD
BILLING CROFT
LAYTON AVENUE
RAWDON
LEEDS
LS19 6QQ

DRAWING TITLE:
PROPOSED PLANS

PAPER SIZE	SCALE	DATE	REV
A1	1:50	10/01/07	