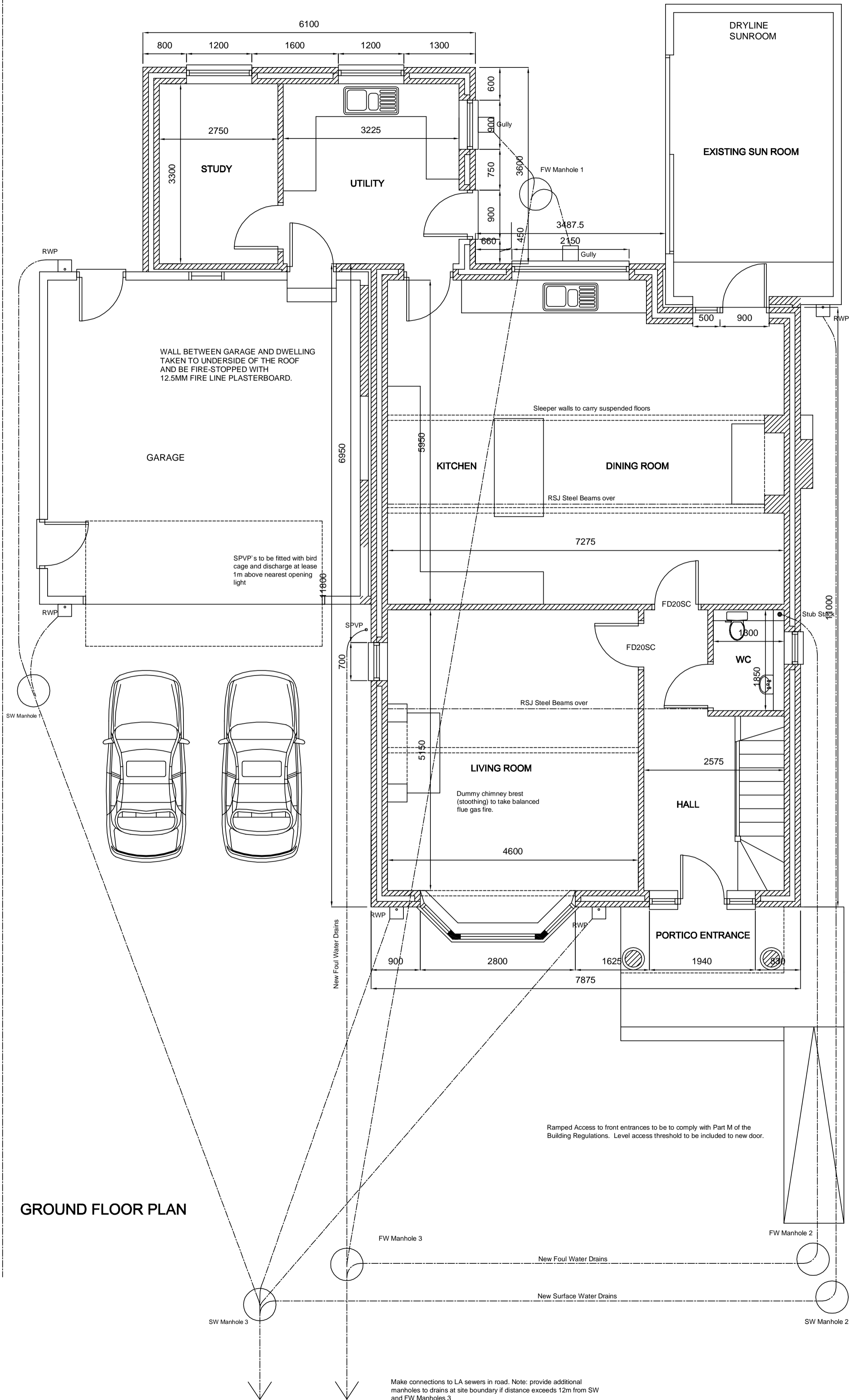


EXT. SUNROOM AND GARAGE FOUNDATIONS TO BE EXPOSED ON SITE PRIOR TO COMMENCEMENT OF WORK TO DETERMINE SIZE / DEPTH.



GROUND FLOOR PLAN

Make connections to LA sewers in road. Note: provide additional manholes to drains at site boundary if distance exceeds 12m from SW and FW Manholes 3

ALL WORKS IN CONNECTION WITH GAS, WATER & ELECTRICAL INSTALLATIONS TO BE CARRIED OUT IN ACCORDANCE WITH THE RULES & REGULATIONS OF THE RELEVANT BODIES & IN ACCORDANCE WITH BRITISH STANDARDS AS APPLICABLE.

ALL MATERIALS AND WORKMANSHIP TO COMPLY WITH THE CURRENT BUILDING REGULATIONS, BRITISH STANDARDS, B.B.A. CERTIFICATES, CODES OF PRACTICE AND BE APPROPRIATE FOR THE USE INTENDED.

CONSTRUCTION TO BE IN ACCORDANCE WITH **ROBUST CONSTRUCTION DETAILS FOR DWELLINGS AND SIMILAR BUILDINGS, 180 2001.**

GENERAL SPECIFICATIONS:

FOUNDATIONS:
Foundations to be mass concrete strip footing, trench fill with formation depth agreed with Local Authority. Foundations to be taken down to ground of suitable bearing strength (on clay minimum 750mm) Foundations where stepped to over lap by twice the height of the step or 300mm, which ever is the greater. All Foundations and Retaining Walls to be to an approved design by structural engineers.

EXTERNAL WALLS:
Walls to be outer leaf of 100mm dense concrete blockwork all laid as manufacturers recommendations and finished with 2 coat sand-cement render with wood floor finish and with 125mm bed natural stone plinth detail to front elevation and stone quoins and dressings to eills and heads all as an approved sample panel to be agreed before works commence. 100mm cavity and 100mm blockwork inner leaf. Cavity to have 50mm Kingspan Thermaflex TW50 - Zero COP (fixed to 100mm blockwork inner leaf with insulation clips. Internal finish to be 13mm plaster finish to give a U value of max 0.30W/m² degree C.

Form openings for doors and windows with thermal break d.p.c.s to all reveals. Stainless steel wall ties at 750mm horizontal and 450mm vertical centres to B.S. 1243 laid in staggered grid pattern and to be within 150mm of openings. All cavities to be closed.

Provide d.p.c. at min 150mm above ground level. Walls below ground constructed out of 7N blockwork. Cavity may d.p.c. to be provided at all roof/external abutments. All openings to be spanned by Galnic or similar approved lintels. Lintels to be insulated and have 150mm end bearing. Weep holes to be provided to external leaf over openings at maximum 600mm centres.

INTERNAL BLOCKWORK WALLS:
Shall comply with B.S. 2028:1364:1964 and B.S. 6073 Part 1 to thickness indicated built off foundation walls and footings all as previously described and all finished with 2 coat 13mm Gaflex plasterwork. Sleeper walls to be built of concrete footings or slab thickenings as indicated on Engineers details. Provide Naylor precast concrete lintels over door openings as required.

STUD PARTITIONS:
Generally 13mm thick plasterboard, except ground floor wc and upper floor bathrooms to be Sound Bloc board to Part E of the Building Regulations, all with skim finish on both sides of 75x50 softwood stud with 75mm thick sound insulation quilt fixed between studs through out, density not less than 10kg/m³. All boards to be staggered and joints scrimmed and fixed in accordance with the manufactures instructions.

SUSPENDED GROUND FLOOR:
Floor to be 120mm Celotex between joists and shall be applied in accordance with the manufactures instructions, to give a U value not greater than 0.22 W/m²K, on new 125mm x 50mm tanalised sw timber Grade SC4 joists at 400mm maximum centres. Joists to all in new ms joist hangers secured to outer walls and party walls. Sub floor to be covered with 100mm thick oversite concrete, concrete to be laid on 2000 gauge Visqueen DPM on sand blinded hardcore. Oversite to be laid to fall to outside of building with drainage holes formed in outer wall. Sub floor void to be vented with air grates at centres to provide the equivalent of 1500mm² free air area per 1m run.

SUSPENDED UPPER FLOORS:
19mm floor grade chipboard on 200mm x 50mm tanalised s.w. timber Grade SC4 joists at 400mm centres underlaid with 13mm plasterboard and skim. Include for timber nogging between joists to support board edges. Voids to floor to be filled with 100mm Rockwool sound insulation quilt 10kg/m³ density. Provide lateral restraint anchor straps at all floor abutments to external walls in 30 x 5mm galv steel straps across equivalent of 3 floor joists with timber packers below straps between joists. Straps to be at 1800mm centres and 900mm down inner leaf of walls.

ROOF CONSTRUCTION:
Artificial slates to be as approved sample on treated s.w. battens to slate manufactures recommended sizes on untearable felt to manufacturers details all on and including tanalised sw timber Grade SC4 rafters at 600mm centres on new steel edge and purlin RSJ beams with sw timber Grade SC4 horizontal ceiling joists at 600mm centres all to sizes to TRADA recommendations and to structural engineers design and calculations all to be approved before works commence, including roof sections to bay window nad storms porch, and rear single storey sections all to structural engineers details and calculations, all on and sw timber wall plates secured with 30x20mm galv. steel anchors at 1800mm centres to inner leaf of external walls. Straps to be taken down wall face 900mm and be at maximum 1200mm centres.

CONDITIONAL APPROVAL REQUESTED FOR ALL CALCULATIONS ETC.

All ceilings to underside to be 13mm foil backed plasterboard fixed to underside of trusses with 100mm thick insulation quilt laid between trusses and overlaid in opposite direction with 170mm insulation quilt to give min U value of 0.16W/m²K. Raking soffits to roof areas to be insulated with 100mm thick Kingspan Kooltherm K7 batts laid between rafters and 50mm batts across rafters with 50mm ventilated air spaces above insulation all to give min U value of 0.16W/m²K. U.p.v.c. fascia & soffit boards with continuous 25mm wide air gap along eaves soffit with insect proof mesh screen.

Ventilation to be provided to all roof areas to eaves and at high level to give equivalent of a continuous strip 20mm wide at eaves level and 10mm wide at high level.

SANITARY FITTINGS:
Plumbing to 100mm diameter single stack p.v.c. system comprising of 100mm dia soil & vent pipe with branch pipes as required to B.S. 5414. Soil stack to terminate 1000mm above any opening light and fitted with a bird proof cap. 100mm dia sub stacks with Durgoo valves to ground floor W.C.s. Provide plumbing and connect to soil stacks, low level suites via 100mm dia p.v.c. pipes, bath/showers via 38mm dia p.v.c. pipes and anti-vacuum traps and wash basins via 32mm dia p.v.c. pipes and anti-vacuum traps. Ground floor wc and basin to connect to 100mm diameter ssp fitted with air admittance valve. All ssp to have rotatable access point at base.

JOINERY:
Provide and fix double glazed windows, external and internal doors, frames, and MDF bull nose architrave and skirtings to Clients specification.

WINDOWS:
UPVC double glazed windows with low-E coating to give min U Value of 0.35 W/m². Manufacturers Certified U value to be provided.

SAFETY GLAZING:
Glazing to doors and sidelights and any glazing in windows below 900mm above floor level to be safety glazing designed in accordance with B.S. 6206.

VENTILATION:
All new habitable rooms to have opening lights equal to 1/20th of floor area of rooms served and also trickle ventilation by trickle vent having a total area of not less than 8000 sq. mm. and fitted with draught proofing.

Provide mechanical ventilation to Kitchen and Utility capable of extracting at a rate of not less than 60 litres/second, or provide cooker hoods capable of extracting at not less than 30 litres.

Bathroom and W.C.s to have a mechanical extract fan discharging to outside air at min 15 litres/second operated intermittently.

STAIRCASE:
Trim out openings to timber upper floors all to structural engineers details and fix new timber staircases with 13 no treads between 150mm and 220mm and gings between 240mm and 260mm, minimum width of flight to be min 800mm Handrails fixed at 900mm measured vertically above pitch line & 1100mm above landings. Balusters to be at max 100mm centres, Min headroom 2m measured vertically above pitch line (max pitch 42). All soffits of staircases to be faced with 2 layers of 13mm Fireline plasterboard and skim to give 1 hour fire ratings.

HEATING, HOT WATER AND ELECTRICAL SERVICES:
Provide new independent heating and hot water system to include gas fired condensing boiler with suitable balanced flue outlet serving all radiators to each room controllable with TRVs and fully pumped bypass programmer and all ventilation all to details to be submitted by an approved contractor for Building Inspectors approval before works commence. All works to be carried out by registered CORGI operator and designed to give heat outputs in accordance with the latest Building Regulations and Corgi requirements.

CONDITIONAL APPROVAL REQUESTED FOR FULL HEATING SCHEME DETAILS.

Contractor to provide full details of gas fires or open fire burners to room for Building Inspectors approval before works commence with 125mm thick full hearth details and clearances to suit manufacturers recommendations all to comply with App. Doc Parts BS J1 J2 J3 and to be complete with Class I flue liners to manufacturers recommendations.

All domestic and other relevant electrical works required to meet the provisions of the Building Regulations Part P (Electrical Safety) to be designed by a qualified and tested by a qualified competent electrician who is registered with an OPDM recognised competent person self-certification scheme. Upon completion the LA to be provided with a copy of an appropriate BS 7671 electrical Certificate.

Contractor to provide information plate as required by regulation J4 and all commissioning certificates for all appliances.

Energy efficient lighting to be provided to all rooms and all switches and sockets to be positioned between 450mm and 1200mm above FFL.

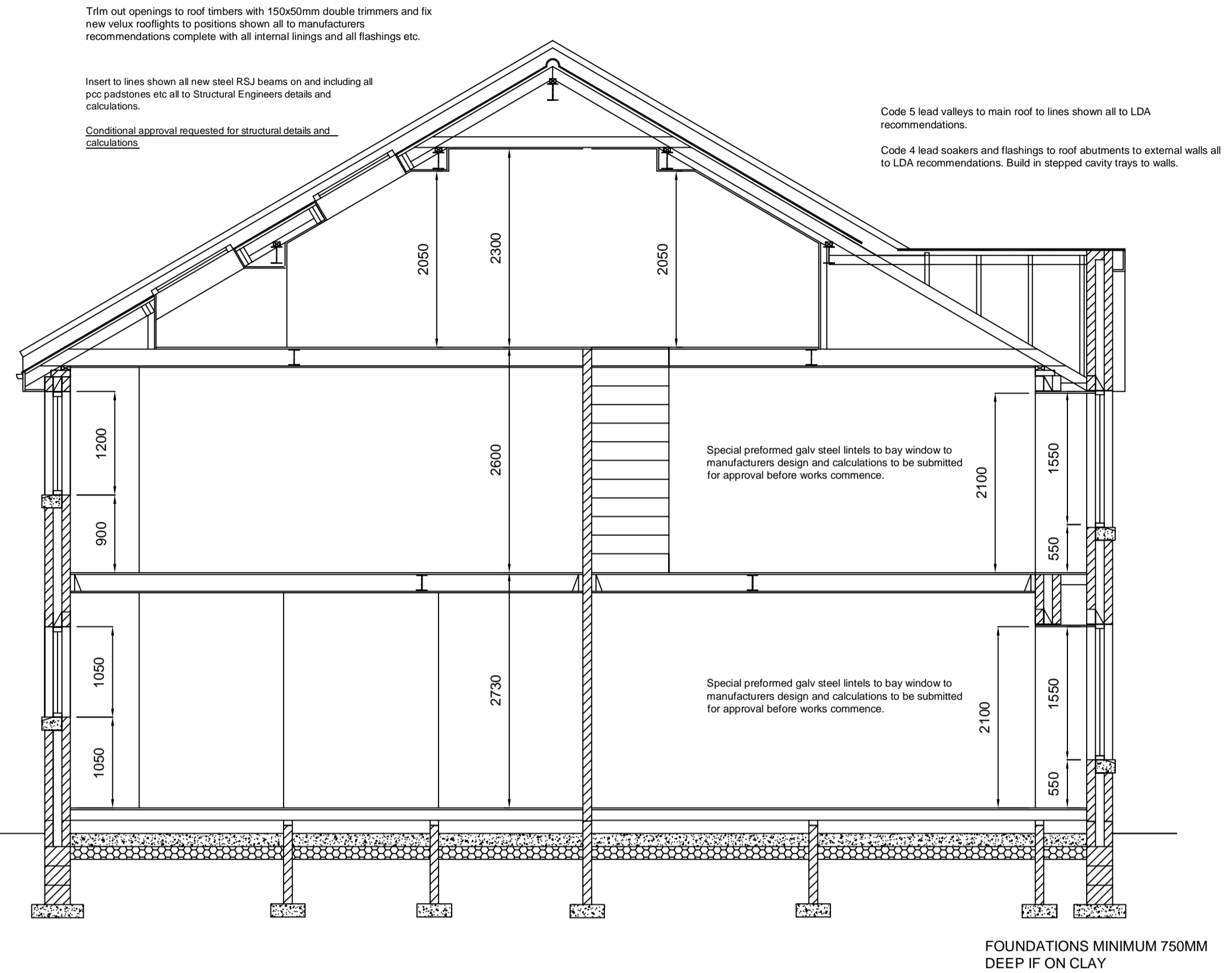
Level disabled access to be provided to front entrances. Internal doors to have minimum 750mm clear openings.

DRAINAGE SPECIFICATIONS:
Provide and lay to lines shown all new foul drains in BS quality flexible jointed clay drains and fittings laid to straight runs to regular even falls and to BS 8301. All pipes passing through walls and under floors to be encased in concrete 150mm thick all round and protected from loading with p.c.c. inlets built into walls all laid to manufacturers recommendations and all tested and approved by Bulking control before covering up.

Provide and lay all new surface water drains and fittings all as previously described and all tested and approved by Bulking control before covering up.

Build in new manholes to positions shown in pvc circular units on concrete beds and surrounds with cast iron covers and frames all to manufacturers recommendations.

Make new connections to existing combined drain system on site.



TYPICAL SECTION

Provide full Radon barrier to the overall footprint of dwelling.

All foundation details are provisional only.

Final details are to be subject to Building Inspectors approval further to site investigations to determine depth and formation levels. Structural engineers details and calculations to be provided for approval as required before works commence.

Proposed foundations must be lower than any adjacent drainage.

NOTE:
PLEASE DO NOT SCALE FROM THIS DRG.

NOTE:
CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT

NOTE:
Materials to match existing. These notes do not comprise a full specification. They are for general guidance only and their primary function is to assist local authority officers in determining Building Regulation Compliance. All dimensions must be checked on site prior to works starting. Do not scale. All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements. All materials must comply with current British Standards in situations used.



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EXTENT OF PROJECT:
PROPOSED DEVELOPMENT OF NEW DETACHED 3 BEDROOM DWELLING

CLIENT DETAILS
**MR & MRS J GILL
GREYSTONES
BURLEY ROAD
MENSTON
ILKLEY
LS29 8HB**

DRAWING TITLE:
PROPOSED GROUND FLOOR & SECTION

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