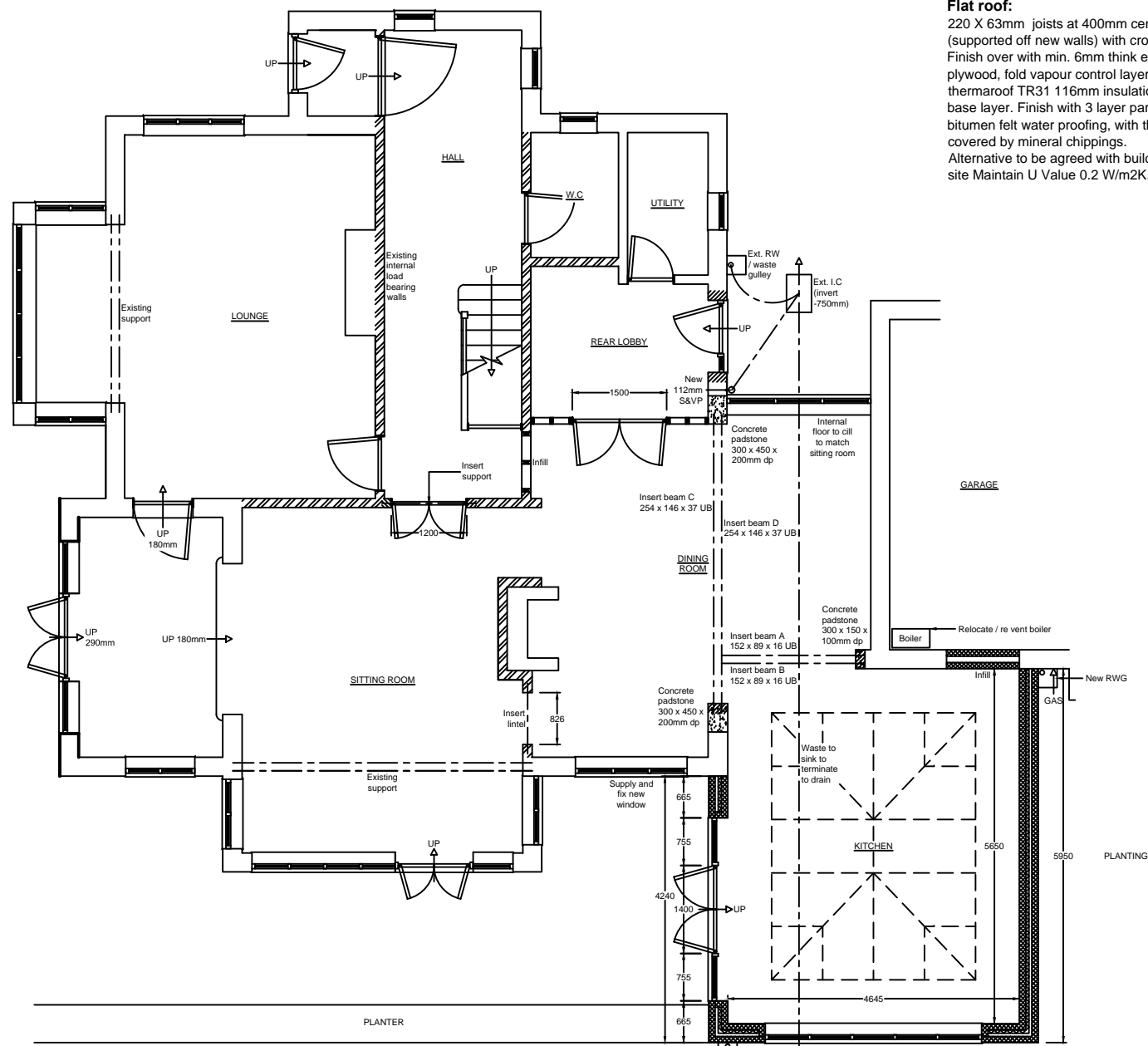


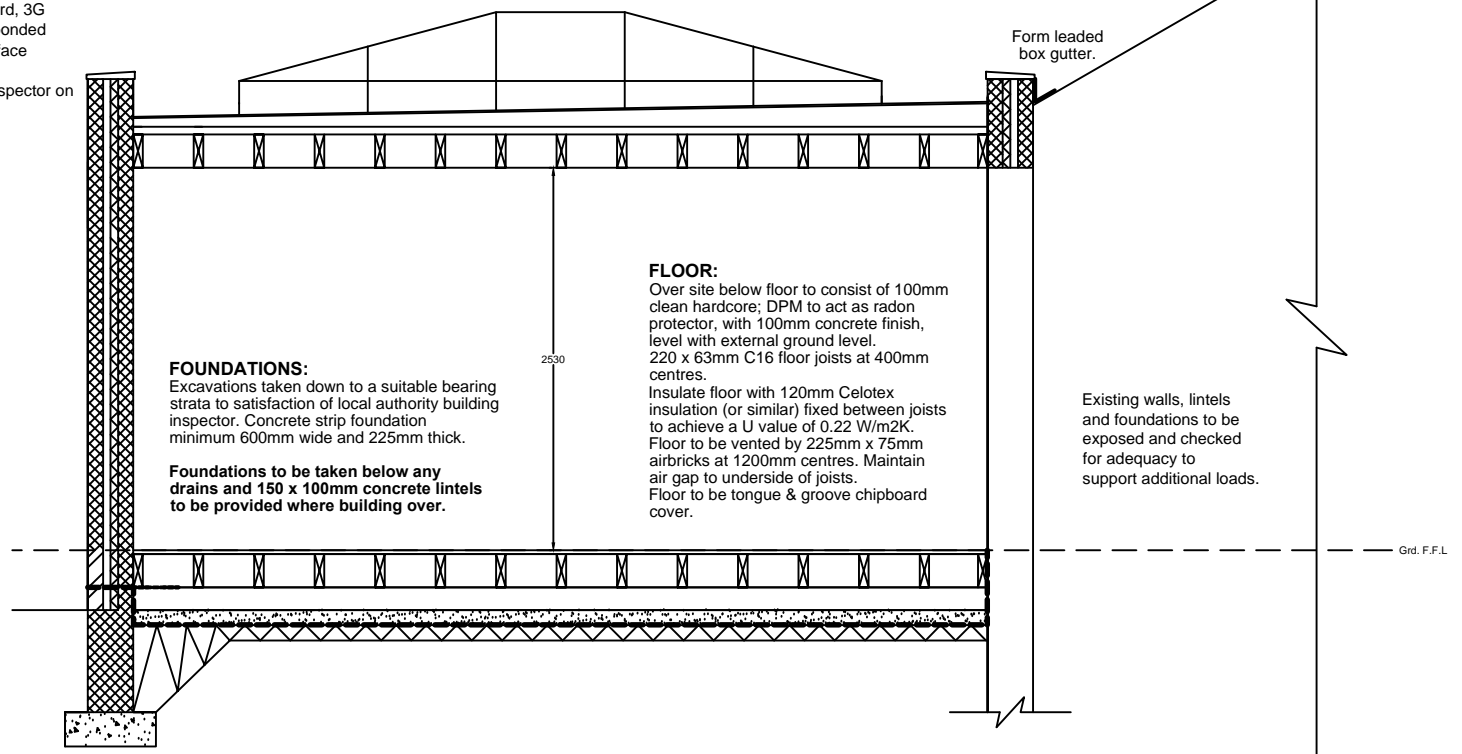
**ROOF:**  
**Flat roof:**  
 220 X 63mm joists at 400mm centres.  
 (supported off new walls) with cross fall fillets.  
 Finish over with min. 6mm thick exterior grade  
 plywood, fold vapour control layer, Kingspan  
 thermaroof TR31 116mm insulation board, 3G  
 base layer. Finish with 3 layer partially bonded  
 bitumen felt water proofing, with the surface  
 covered by mineral chippings.  
 Alternative to be agreed with building inspector on  
 site Maintain U Value 0.2 W/m2K.



**PROPOSED GROUND FLOOR PLAN**

**DRAINAGE:**  
 Exact lines of existing drains to be determined on  
 site prior to the commencement of any works.  
 New RWG as shown on plan connected to existing drain.  
 New S&VP as shown on plan connected to existing drain.  
 All new underground drains to be 100mm PVC pipes laid to  
 min. 1:40 falls; with gravel bed & surround (any drains under  
 extensions to be encased in concrete)  
 Location of existing drains to be exposed on site and discussed  
 with building inspector. Levels to be determined on site by builder.  
 Provide 100mm PVC gutters and 75mm fall pipes to match existing.  
 All work to be carried out to Part H of building regulations and any  
 Yorkshire water requirements.

Exact lines of existing drainage to  
 be determined on site by builder.  
 Assumed lines of existing drains.  
 Location of gas, electric and  
 water supplies to be located prior  
 to the start of any works on site.



**PROPOSED SECTION A-A  
 (SCALE 1:25)**

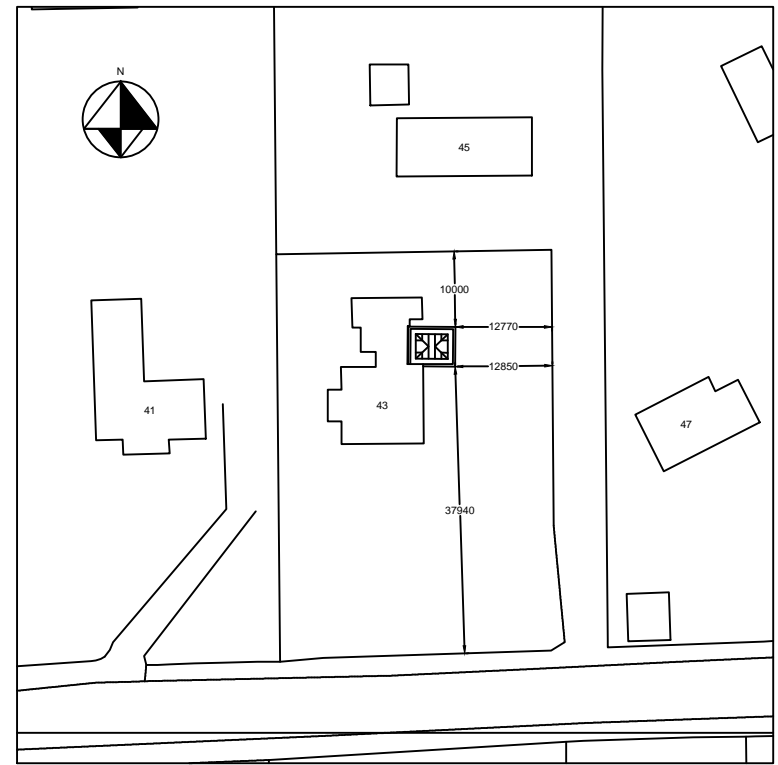
**FLOOR:**  
 Over site below floor to consist of 100mm  
 clean hardcore; DPM to act as radon  
 protector, with 100mm concrete finish,  
 level with external ground level.  
 220 x 63mm C16 floor joists at 400mm  
 centres.  
 Insulate floor with 120mm Celotex  
 insulation (or similar) fixed between joists  
 to achieve a U value of 0.22 W/m2K.  
 Floor to be vented by 225mm x 75mm  
 airbricks at 1200mm centres. Maintain  
 air gap to underside of joists.  
 Floor to be tongue & groove chipboard  
 cover.

**FOUNDATIONS:**  
 Excavations taken down to a suitable bearing  
 strata to satisfaction of local authority building  
 inspector. Concrete strip foundation  
 minimum 600mm wide and 225mm thick.  
**Foundations to be taken below any  
 drains and 150 x 100mm concrete lintels  
 to be provided where building over.**

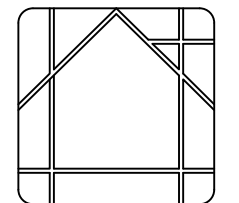
**WALLS:**  
 Provide Celcon Foundation 7 Blocks below ground  
 Provide brickwork to outer skin to match existing  
 upto ground floor level then blockwork and render  
 to outer skin to match existing.  
 100mm cavity and Celcon Aircrete Standard  
 100mm block work inner leaf. Cavity to have 50mm  
 thick Kingspan thermawall TW50 Zero ODP  
 insulation board fixed to inner leaf to give a U value  
 used at 750mm horizontal x 450mm vertical spacings;  
 reduced to 225mm to reveals. Provide DPC's to walls  
 150mm above external ground level. Cavities to be  
 continuous and closed at eaves and reveals.  
 All work to comply with Part A of building regulations.

**REV. B (18/01/10):**  
 Structural and heat loss details  
 added

**REV. A (05/10/09):**  
 Revised roof specification as per  
 Building Inspectors letter.



**PROPOSED LOCATION PLAN  
 (SCALE 1:500)**



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**EXTENT OF PROJECT:**  
 PLANS AND APPLICATION FOR  
 PROPOSED SINGLE STOREY SIDE  
 EXTENSION AND INTERNAL  
 ALTERATIONS; FORMING KITCHEN,  
 DINING AND SITTING AREA.

**CLIENT DETAILS:**  
 KATE SPENCER.  
 43 CURLY HILL,  
 MIDDLETON, ILKLEY, WEST YORKSHIRE.  
 LS29 0AY.

**DRAWING TITLE:**  
 PROPOSED SECTION AND PLANS.

PAPER SIZE	SCALE	DATE	DRAWING No.
A1	VARIOUS	05/07/09	P-01

NOTE:  
PLEASE DO NOT SCALE FROM THIS DRG.

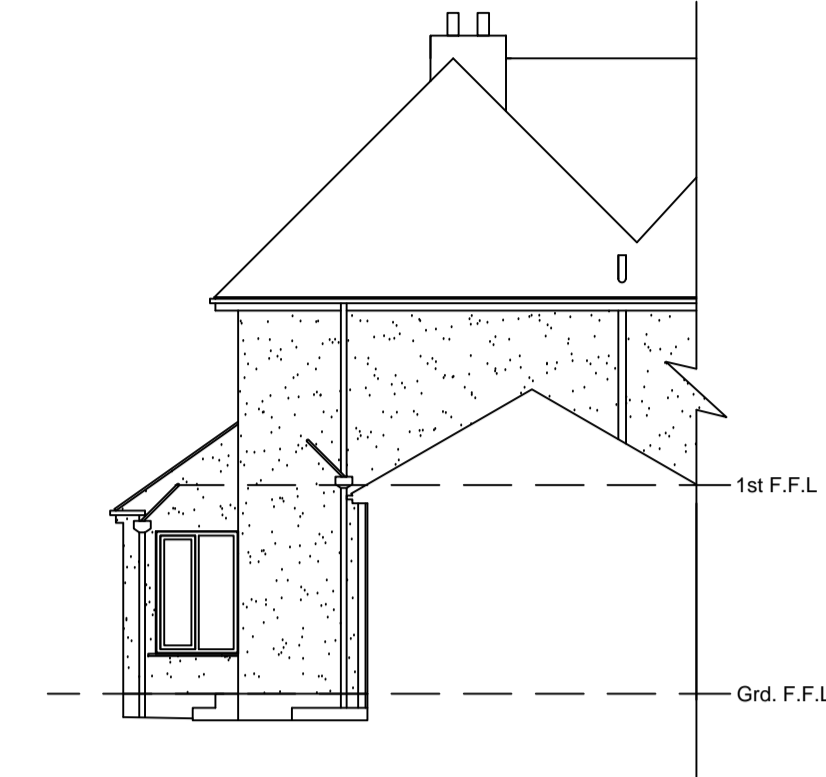
NOTE:  
CONTRACTOR TO VERIFY ALL SIZES  
ON SITE BEFORE COMMENCEMENT.



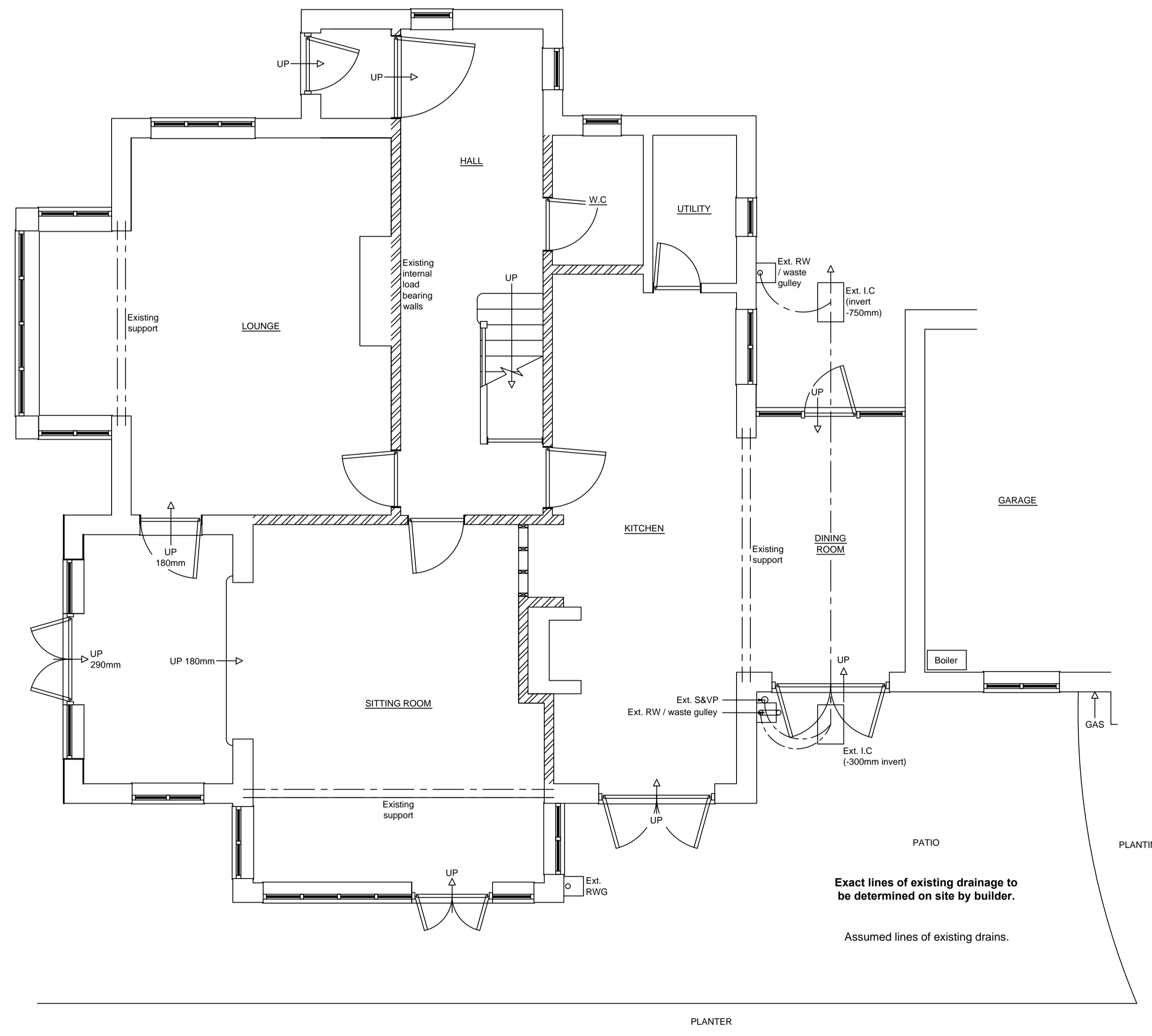
**EXISTING FRONT ELEVATION  
(SCALE 1:100)**



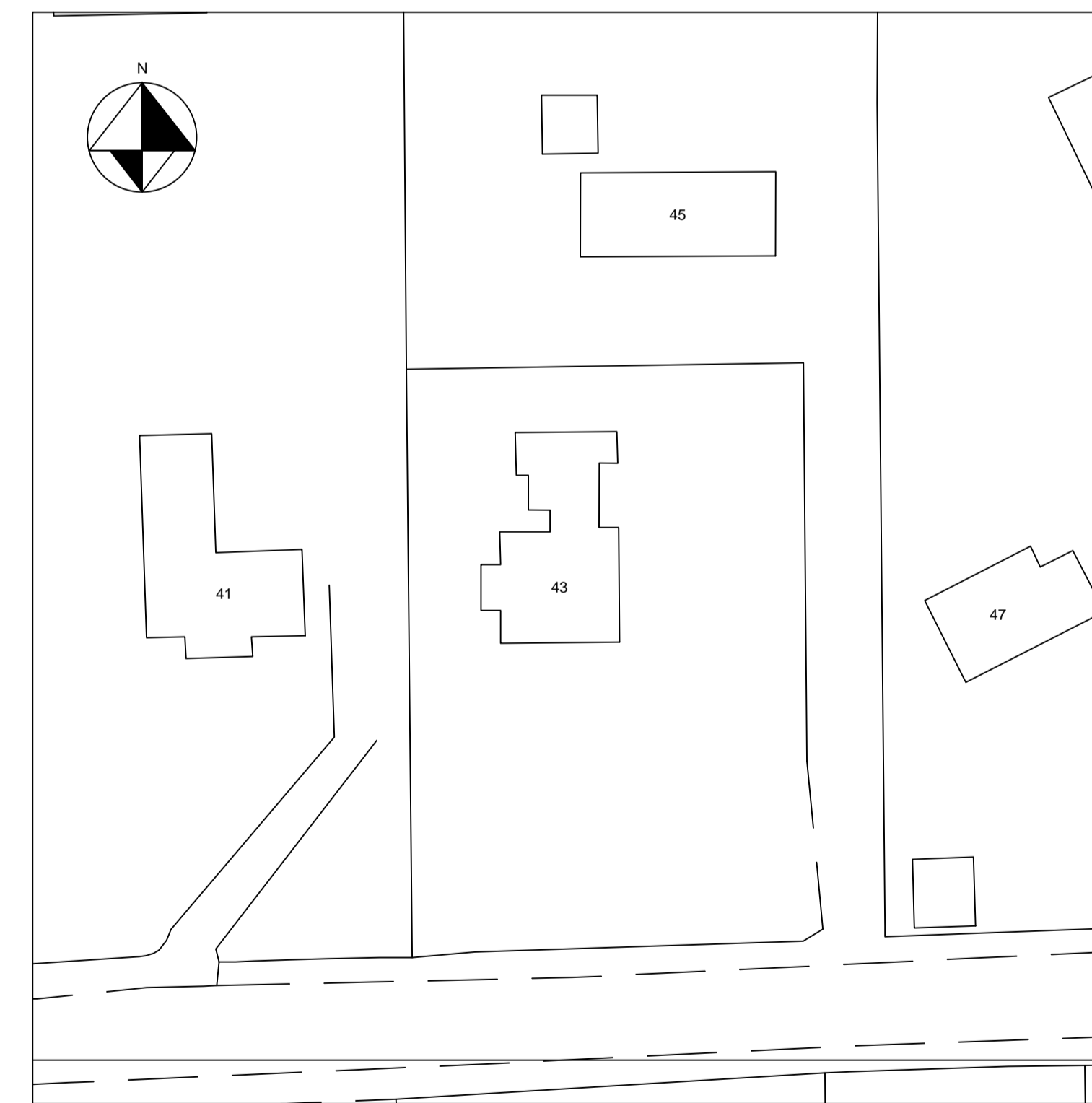
**EXISTING SIDE ELEVATION  
(SCALE 1:100)**



**EXISTING REAR ELEVATION  
(SCALE 1:100)**



**EXISTING GROUND FLOOR PLAN (SCALE 1:50)**

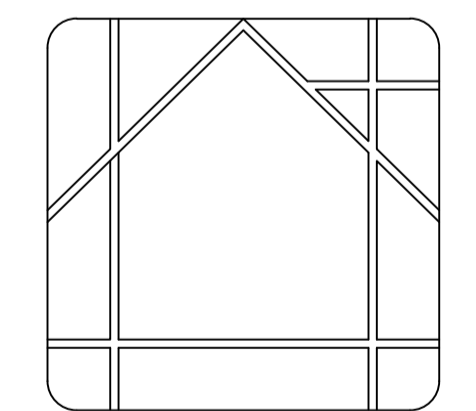


**EXISTING LOCATION PLAN  
(SCALE 1:500)**

**NOTE:**  
Materials to match existing.  
These notes do not comprise a full specification.  
They are for general guidance only and their primary  
function is to assist local authority officers in  
determining Building Regulation Compliance.  
All dimensions must be checked on site prior  
to works starting.  
Do not scale.  
All works must be carried out in accordance with  
current Building Regulations, Codes of Practice  
and Planning Officers requirements.  
All materials must comply with current British  
Standards in situations used.

**REV. B (18/01/10):**  
Structural and heat loss details  
added

**REV. A (05/10/09):**  
Revised roof specification as per  
Building Inspectors letter.



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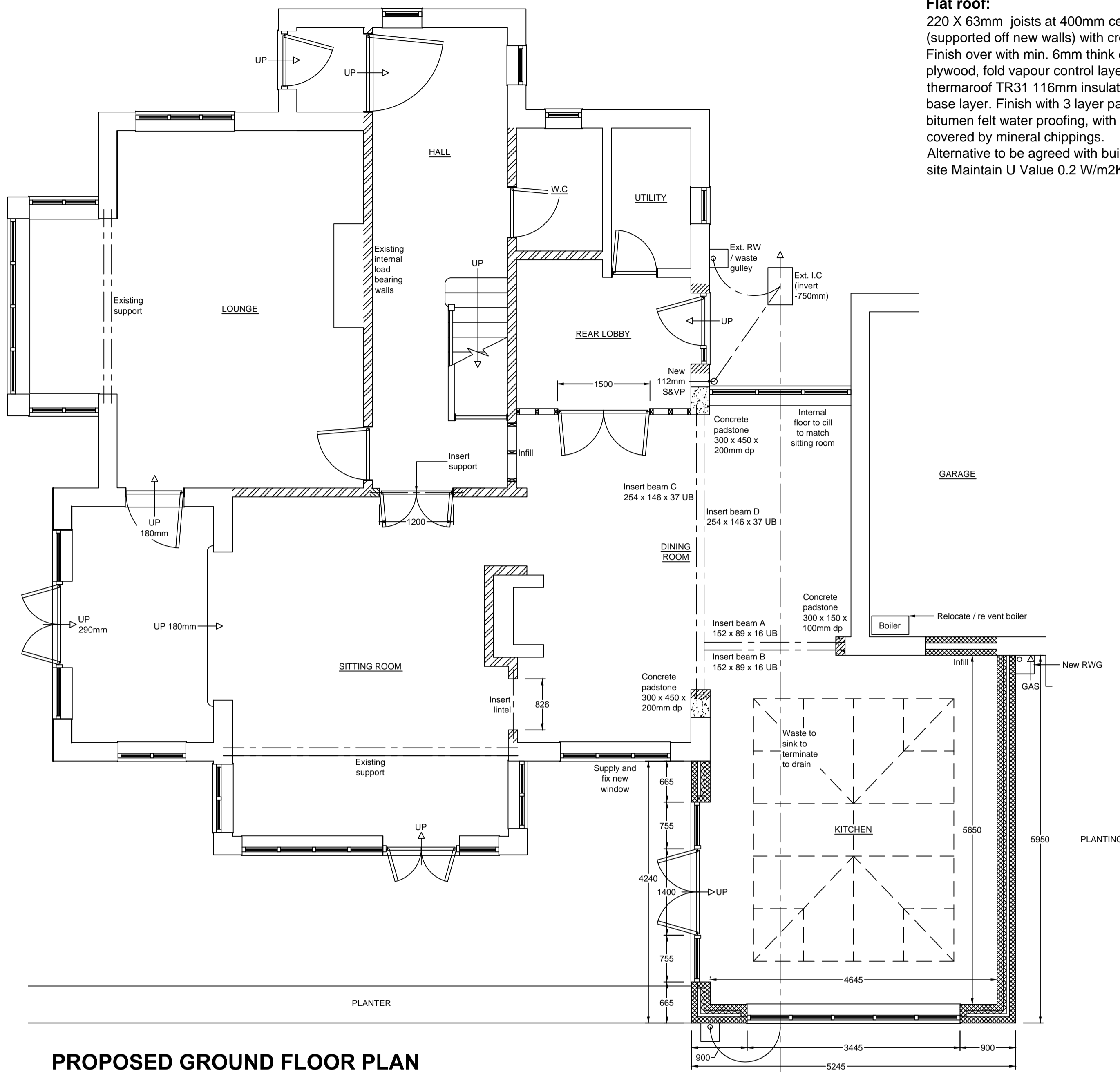
EXTENT OF PROJECT:  
PLANS AND APPLICATION FOR  
PROPOSED SINGLE STOREY SIDE  
EXTENSION AND INTERNAL  
ALTERATIONS; FORMING KITCHEN,  
DINING AND SITTING AREA.

CLIENT DETAILS:  
KATE SPENCER.  
43 CURLY HILL,  
MIDDLETON, ILKLEY, WEST YORSHIRE.  
LS29 0AY.

DRAWING TITLE:  
EXISTING ELEVATIONS AND PLANS.

PAPER SIZE	SCALE	DATE	DRAWING No.
A1	VARIOUS	05/07/09	E-01

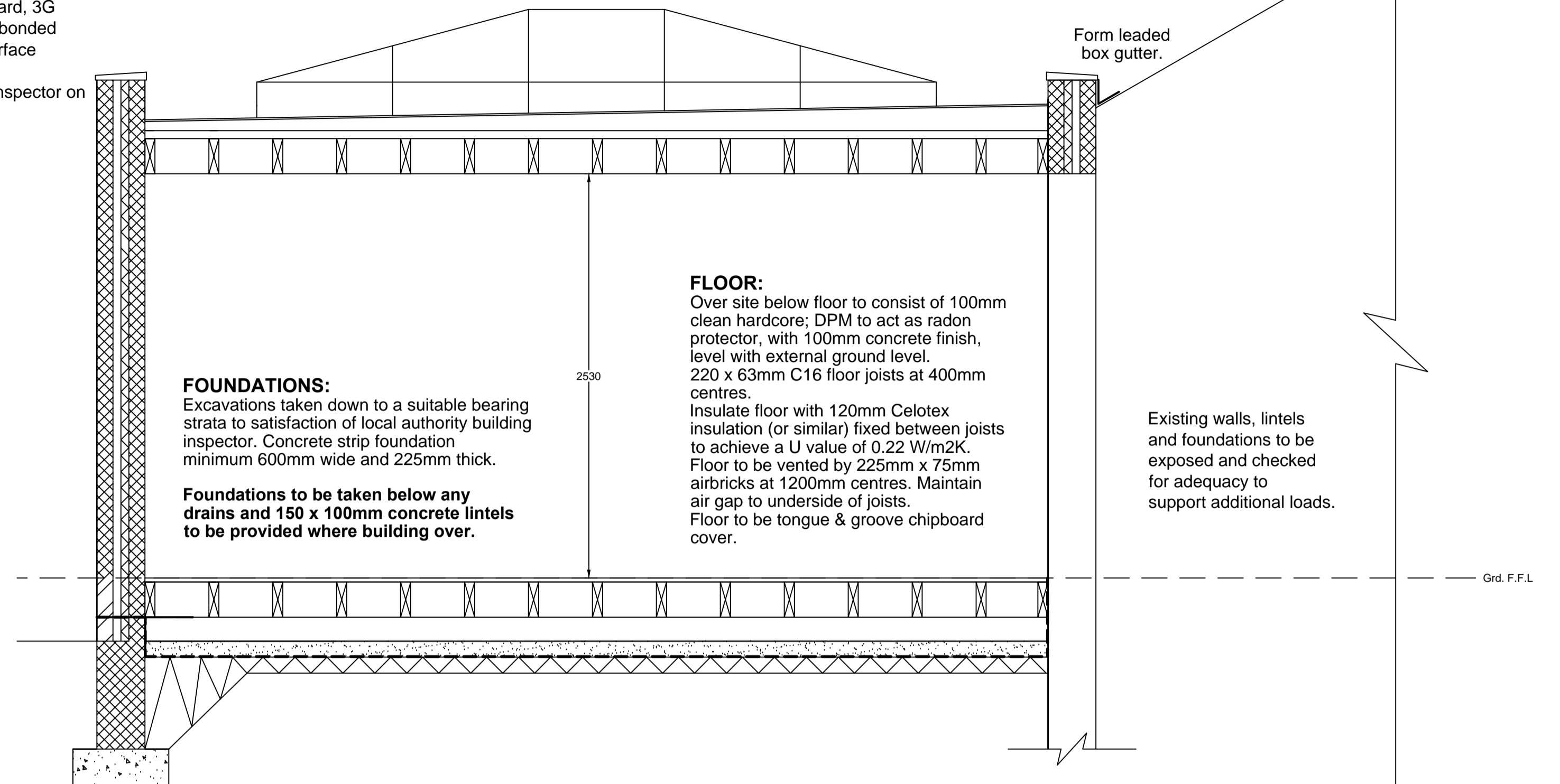
**ROOF:**  
**Flat roof:**  
 220 X 63mm joists at 400mm centres.  
 (supported off new walls) with cross fall fillets.  
 Finish over with min. 6mm thick exterior grade plywood, fold vapour control layer, Kingspan thermaroof TR31 116mm insulation board, 3G base layer. Finish with 3 layer partially bonded bitumen felt water proofing, with the surface covered by mineral chippings.  
 Alternative to be agreed with building inspector on site Maintain U Value 0.2 W/m2K.



**PROPOSED GROUND FLOOR PLAN**

**DRAINAGE:**  
 Exact lines of existing drains to be determined on site prior to the commencement of any works.  
 New RWG as shown on plan connected to existing drain.  
 New S&VP as shown on plan connected to existing drain.  
 All new underground drains to be 100mm PVC pipes laid to min. 1:40 falls; with gravel bed & surround (any drains under extensions to be encased in concrete)  
 Location of existing drains to be exposed on site and discussed with building inspector. Levels to be determined on site by builder.  
 Provide 100mm PVC gutters and 75mm fall pipes to match existing.  
 All work to be carried out to Part H of building regulations and any Yorkshire water requirements.

Exact lines of existing drainage to be determined on site by builder.  
 Assumed lines of existing drains.  
 Location of gas, electric and water supplies to be located prior to the start of any works on site.



**PROPOSED SECTION A-A (SCALE 1:25)**

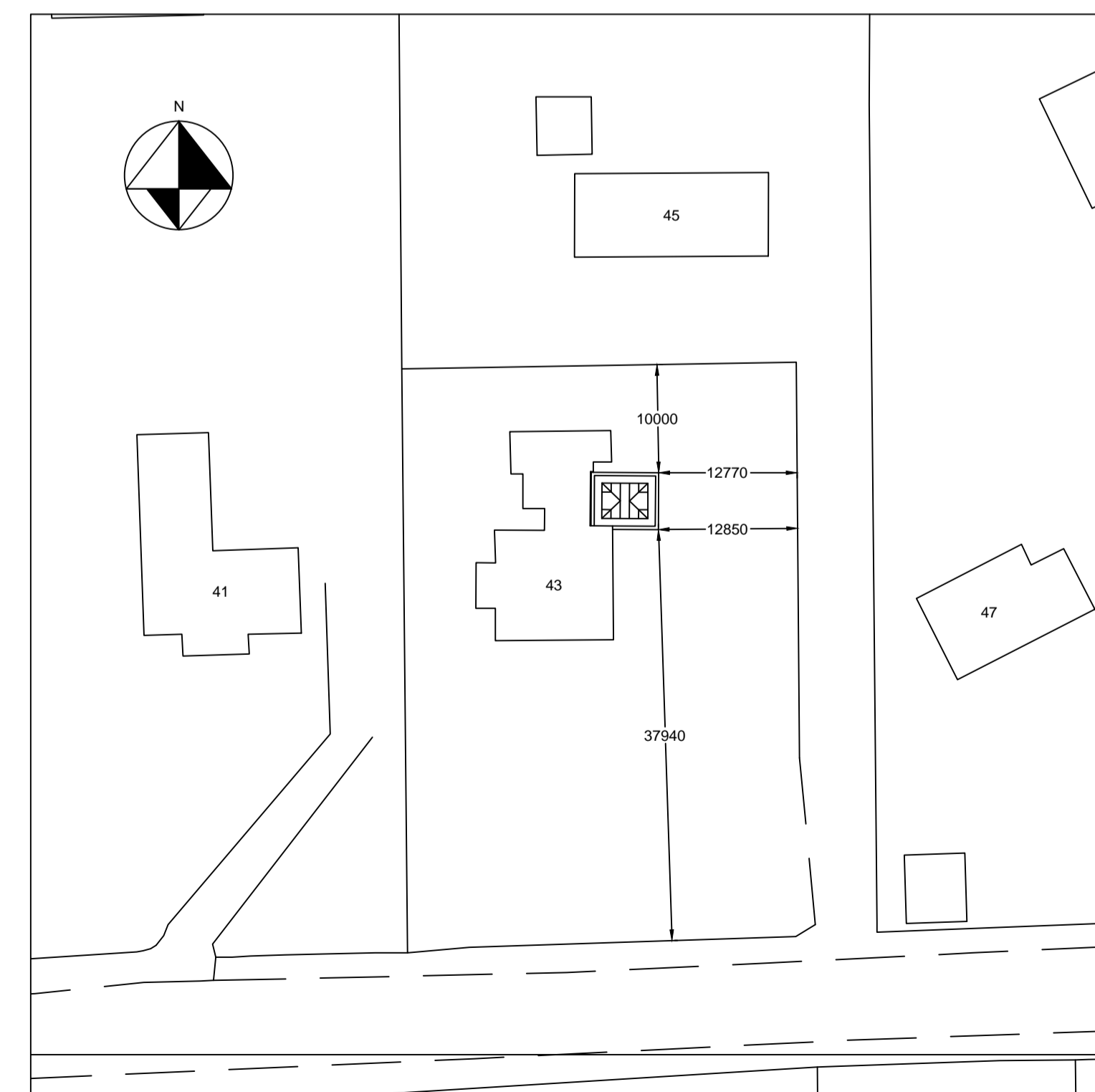
**FOUNDATIONS:**  
 Excavations taken down to a suitable bearing strata to satisfaction of local authority building inspector. Concrete strip foundation minimum 600mm wide and 225mm thick.  
 Foundations to be taken below any drains and 150 x 100mm concrete lintels to be provided where building over.

**FLOOR:**  
 Over site below floor to consist of 100mm clean hardcore; DPM to act as radon protector, with 100mm concrete finish, level with external ground level.  
 220 x 63mm C16 floor joists at 400mm centres.  
 Insulate floor with 120mm Celotex insulation (or similar) fixed between joists to achieve a U value of 0.22 W/m2K.  
 Floor to be vented by 225mm x 75mm airbricks at 1200mm centres. Maintain air gap to underside of joists.  
 Floor to be tongue & groove chipboard cover.

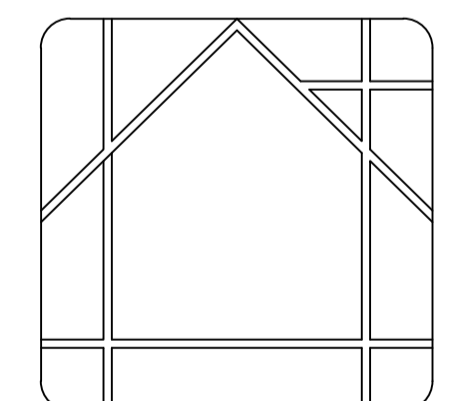
**WALLS:**  
 Provide Celcon Foundation 7 Blocks below ground level to match existing.  
 Provide brickwork to outer skin to match existing upto ground floor level then blockwork and render to outer skin to match existing.  
 100mm cavity and Celcon Aircrete Standard 100mm block work inner leaf. Cavity to have 50mm thick Kingspan thermawall TW50 Zero ODP insulation board fixed to inner leaf to give a U value of 0.22 W/m2K.  
 Use at 750mm horizontal x 450mm vertical spacings; reduced to 225mm to reveals. Provide DPC's to walls 150mm above external ground level. Cavities to be continuous and closed at eaves and reveals.  
 All work to comply with Part A of building regulations.

**REV. B (18/01/10):**  
 Structural and heat loss details added

**REV. A (05/10/09):**  
 Revised roof specification as per Building Inspectors letter.



**PROPOSED LOCATION PLAN (SCALE 1:500)**



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EXTENT OF PROJECT:  
 PLANS AND APPLICATION FOR PROPOSED SINGLE STOREY SIDE EXTENSION AND INTERNAL ALTERATIONS; FORMING KITCHEN, DINING AND SITTING AREA.

CLIENT DETAILS:  
 KATE SPENCER.  
 43 CURLY HILL,  
 MIDDLETON, ILKLEY, WEST YORSHIRE.  
 LS29 0AY.

DRAWING TITLE:  
 PROPOSED SECTION AND PLANS.

PAPER SIZE	SCALE	DATE	DRAWING No.
A1	VARIOUS	05/07/09	P-01

**ELECTRICS:**

Design, supply and install new electric layout to additional areas. Positions of switches, sockets and light fittings to Part M Diagram 29 of building regulations. All electrical work required to meet the requirements of Part P (electrical safety) of the building regulations.

This work must be designed, installed, inspected and tested by a person competent to do so.

The local authority should be satisfied that Part P of the building regulations has been met and the installer may be required to submit an installation certificate BS7671.

Provide low energy light fittings to all new rooms. Supply & install mains operated, self maintained, interconnected smoke detection; 1 no. per storey. Provide mechanical extract fans to kitchen (60 litres / sec), all ducted directly to external air.

**PLUMBING:**

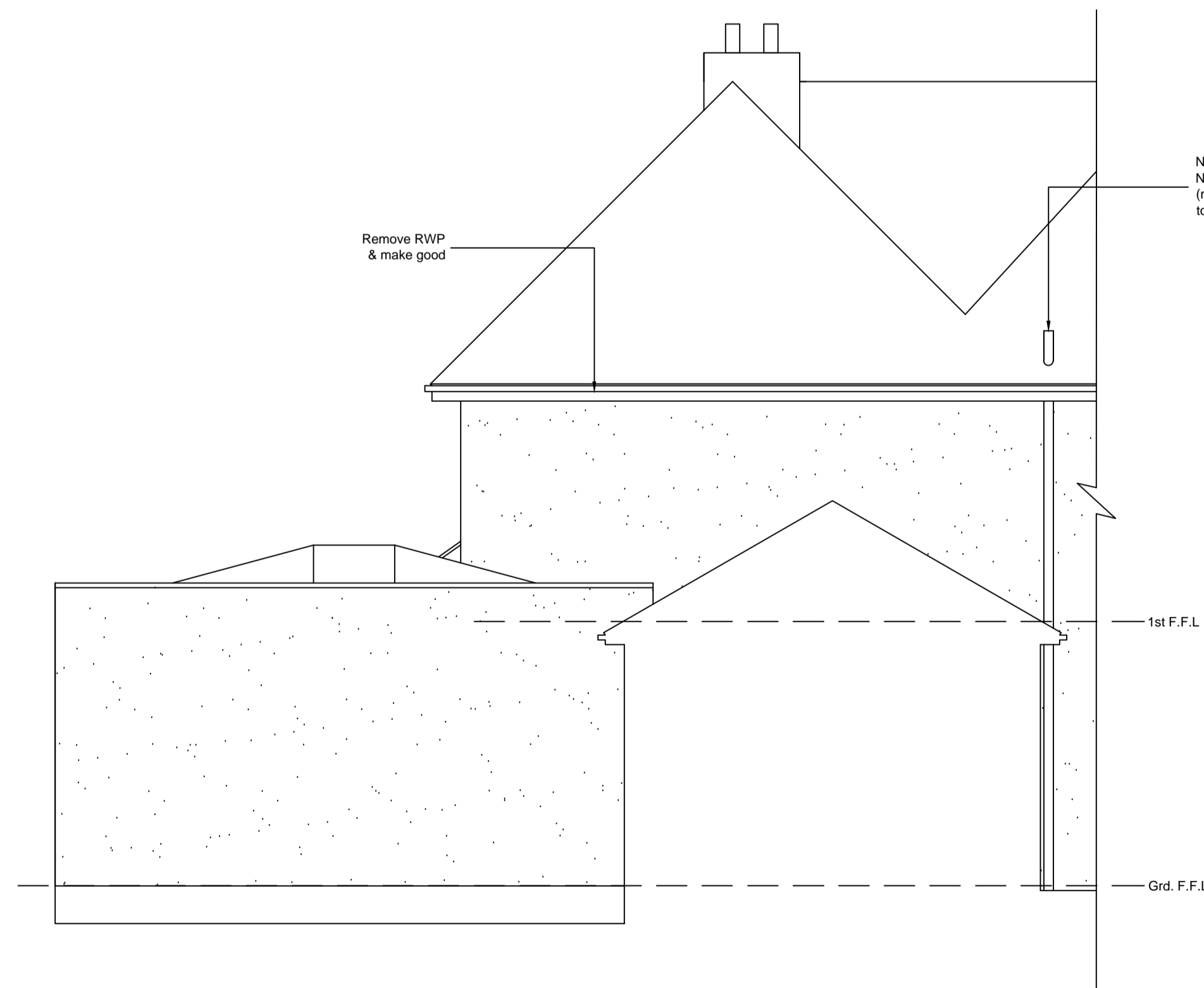
Kitchen sink to have 42mm diameter waste outlets. All traps and seals to appropriate British Standards. New PVC S&VP to extend minimum 900mm above window openings.

**HEATING:**

Relocate / revert existing boiler to single garage. Existing heating system to be assessed for suitability and condition for extension. Existing system to be discussed with owner before commencement of works if required. Design, supply & install extension to existing system; including all radiators and fittings. Provide thermostatic radiator valves to all new radiators. All work to be carried out by a CORGI approved installer. All work to be carried out to Part J of Building Regulations.



**PROPOSED SIDE ELEVATION**



**PROPOSED REAR ELEVATION**



**PROPOSED FRONT ELEVATION**

NOTE:  
PLEASE DO NOT SCALE FROM THIS DRG.

NOTE:  
CONTRACTOR TO VERIFY ALL SIZES  
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**NOTE:**

Materials to match existing. These notes do not comprise a full specification. They are for general guidance only and their primary function is to assist local authority officers in determining Building Regulation Compliance. All dimensions must be checked on site prior to works starting. Do not scale. All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements. All materials must comply with current British Standards in situations used.

**FINISHES:**

12.5mm plasterboard and skim finish to walls. 12.5mm plasterboard and skim finish to ceilings. Floors to be tongue and groove chipboard. Skirtings and architraves to match existing.

All decorative finishes to be agreed with owner for pricing purposes.

Include generally for making good all surfaces inside and out including decorative finishes.

**STEELWORK:**

Steelwork RSJ's to engineers design & calculations; sat on concrete padstones (conditional approval requested for Building Regulation Compliance. Calculations to be submitted prior to work starting on site) Maintain 150mm bearing capacity. Clad steelwork with 15mm fire line plasterboard to give 30 minutes fire resistance. (Drawings to be read in conjunction with engineering details)

**OPENINGS:**

Lintels over window and door openings to be Catnics, I.G or similar approved; fitted in accordance with manufacturers specifications. Provide pre cast reinforced lintels to internal load bearing openings.

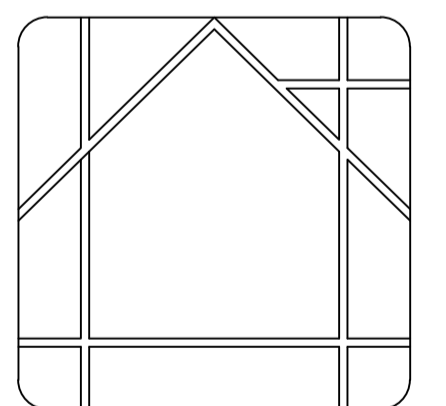
**DOORS:**

External and internal doors to clients own choice of style and design.

**WINDOWS:**

As per plan. Provide white timber framed windows; with a 'soft' low - emmisstivity coating double glazed units. 8000mm sq. trickle vents for background ventilation. Maintain 1/20th ventilated openers. All glazing to be Pilkington 'K' glass to Part N of the Building Regulations. Maintain U value of 1.1 W/m2K. Use Catnic, I.G or similar approved lintels to openings.

All glazing to windows less than 800mm from internal floor level to be laminated safety glass.



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CLIENT DETAILS:

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43 CURLY HILL,  
MIDDLETON, ILKLEY, WEST YORSHIRE.  
LS29 OAY.

DRAWING TITLE:

PROPOSED ELEVATIONS.

PAPER SIZE	SCALE	DATE	DRAWING No.
A1	1:50	05/07/09	E-01

**REV. B (18/01/10):**  
Structural and heat loss details added

**REV. A (05/10/09):**  
Revised roof specification as per Building Inspectors letter.